

Village of Colfax
Planning Commission
Thursday, June 15th, 2023
6:00 p.m. at Village Hall
613 Main Street, Colfax, WI 54730

Agenda

1. Call the Meeting to Order
2. Roll Call
3. East View Development – Update
4. East View Development – Phase 2
 - Review the Layout of the Lots
 - a. Two or Three Multi-Family Lots
 1. Consider Sub-Division
 - Potential Cost of Lots
 - a. Single-Family
 - b. Multi-Family
 - Zoning of Phase 2
5. East View Development – Phase 3
 - Discussion of the next steps
6. Any other items to be discussed
7. Adjourn

Any person who has a qualifying disability as defined by the American With Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format must contact: Lynn Niggemann Administrator-Clerk-Treasurer's Office, 613 Main Street, Colfax, (715) 962-3311 by 2:00 p.m. the day prior to the meeting so that and necessary arrangements can be made to accommodate each request.

******It is possible that members of and possibly a quorum of members of the governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information- no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.******

Village Board Meeting – June 12th, 2023

On June 12th, 2023, the Village Board met at the Village Hall, 613 Main Street, Colfax, WI at 7:00 p.m. Members present: Trustees Burcham, Jenson, Stene, Best and Prince. Excused: Trustees Davis and Rud. Others present included Sonny Ivkovich with Orion Builders Framing representing GRIP Development, Dave & Kim Rosenbrook with Rosenbrook Construction, Sheila Riemer, Public Works Director Bates, Administrator-Clerk-Treasurer Niggemann and LeAnn Ralph with the Messenger

Consent Agenda

Regular Board Meeting Minutes –May 22nd, 2023

Review Statement of Bills –May 22nd, 2023 to June 11th, 2023

Review Statement of Bills Solid Waste & Recycling Checking – May 22nd, 2023 to June 11th, 2023

Training -none, Facility Rental- none and Licenses – none.

A motion was made Trustee Stene and seconded by Trustee Burcham to approve all the consent agenda items; Regular Board Meeting Minutes of May 22nd, 2023, Statement of Bills for Village of Colfax and Solid Waste & Recycling for May 22nd to June 11th, 2023 A voice vote was taken with all members voting in favor. Motion carried.

Consideration Items

Welcome Wall – reconsideration –The Board is very happy with all the improvements that Nick and Jess have put into their building. The wall looks fabulous. However, Board members were in agreement, with regrets, that it would set a precedence and the Village could have more requests from other businesses asking for assistance. A motion was made by Trustee Jenson and seconded by Trustee Burcham to not contribute to Blind Tiger’s welcome wall. Voting For: Trustees Burcham, Jenson, Best and Price. Voting Against: Trustee Stene. Motion carried.

East View Development Lots 8 to 11 – Interested Parties and their proposals – Possible Action – Niggemann provided a summary of interested developers and individuals in East View Development after Channel 18 news aired a news clip about the Village of Colfax. There have been three developers very interested in both the two single-family (SF) homes and the two multi-family (MF) lots. As well as at least four individuals interested in the single-family lots. After continued discussions the following information was determined:

- Jason Griepentrog -GRIP Development -Altoona, WI – Interested in all four lots with completion of all lots by end of 2023 with start of construction August/September.
- Dave & Kim Rosenbrook – Rosenbrook Construction – Bloomer WI – Interested in the multi-family lots zoned as zero lot lines (twin homes) – He feels that the lots are large enough that they could be sub-divided into three lots with twin homes. He would be willing to install the additional service to create the third lot. Complete one in 2023 and one in 2024.
- Jon Bennin -Beneen Rentals – Eau Claire, WI - If lots get spoken for, they would like to get into the next round since they have a few lots that they are working with right now.
- Andrea Clauson – interested in MF if the lot is gifted. They would build a duplex, live in one side and rent the other side.
- Walk-in from Minnesota – did not reply with any additional information after the packet - SF.
- Diane Granica – Individual - Interested in a SF
- Everette Freeland – Individual – Interested in SF
- Dana Miller – Individual – Interested in SF

A motion was made by Trustee Jenson and seconded by Trustee Stene to schedule a Planning Commission meeting to review values and lot values, determine possible incentives for the developers, identify whether the Village should sub-divide the two multi-family lots into three multi-family lots and complete the zoning for phase two of East View Development. A voice vote was taken with all members voting in favor. Motion carried.

Public Works Building – Estimate for Concrete in Front of Building- Possible Action – The Public Works Building concrete has been heaving during the winter months. The Public Works door was not able to be opened at all this last winter. Two bids were received, Andy’s Custom Concrete \$7,800 plus approximately \$1,700 if the 2” foam is needed total \$9,500. J & K Concrete estimated \$11,382 with the 2” foam included. A motion was made by Trustee Stene and seconded by Trustee Jenson to approve the Andy’s Concrete estimate up to \$9,500 if the foam is needed. Voting For: Trustees Burcham, Jenson, Stene, Best and Prince. Voting Against: none. Motion carried.

2023 Pavement Surface Evaluation and Rating – PASER – A motion was made by Trustee Stene and seconded by Trustee Burcham to approve the 2023 PASEER agreement with Dunn County. A voice vote was taken with all members voting in favor. Motion carried.

Public Works Seasonal Employee Consideration – Bates explained that when the grass is growing and we have rain, Brett spends approximately three days at the cemetery and it takes about a week and a half to mow the rest of the Village, currently being completed by Don. That does not leave much time for the other duties plus account for vacations. After discussion, a motion was made by Trustee Burcham and seconded by Trustee Best to post for a seasonal employee at the rate of \$13 to \$15. Voting For: Trustees Burcham, Stene, Best and Prince. Voting Against: Trustee Jenson. Motion carried.

Emergency Operations Plan-Modifications Highlighted-Consider Approving the updates – A motion was made by Trustee Burcham and seconded by Trustee Jenson to approve the updates to the Emergency Operations Plan. A voice vote was taken with all members voting in favor. Motion carried.

Colfax Community Fire Department – Fire Truck Proposal - Prince reported the Fire Department has approved the purchase of new fire truck from Pierce for approximately \$575,000, it will be a little less with a couple modifications. The Fire Department has approximately \$320,000 that will be paid from Fire funds by the time the truck arrives. The approximate amount that the Village of Colfax will be responsible for, once the truck arrive in 24 to 31 months, is about \$63,188.43. No action required at this time.

Cedar Street Schedule Update – The project is running according to schedule. There is a power pole that Excel Energy has not removed. Excel Energy was notified of project and a second request has been made for moving the pole.

Department of Transportation Project Notification – summer planning meeting – Bates explained that the notification is regarding the planning meeting that will be held this summer, no date has been scheduled yet and the project is expected to occur in 2025.

Adjourn – A motion was made by Trustee Burcham and seconded by Trustee Jenson to adjourn the meeting at 8:25 p.m. A voice vote was taken with all members voting in favor. Meeting Adjourned.

Jeff Prince, Village President

Attest:

Lynn Niggemann
Administrator-Clerk-Treasurer

EAST VIEW 1ST ADDITION

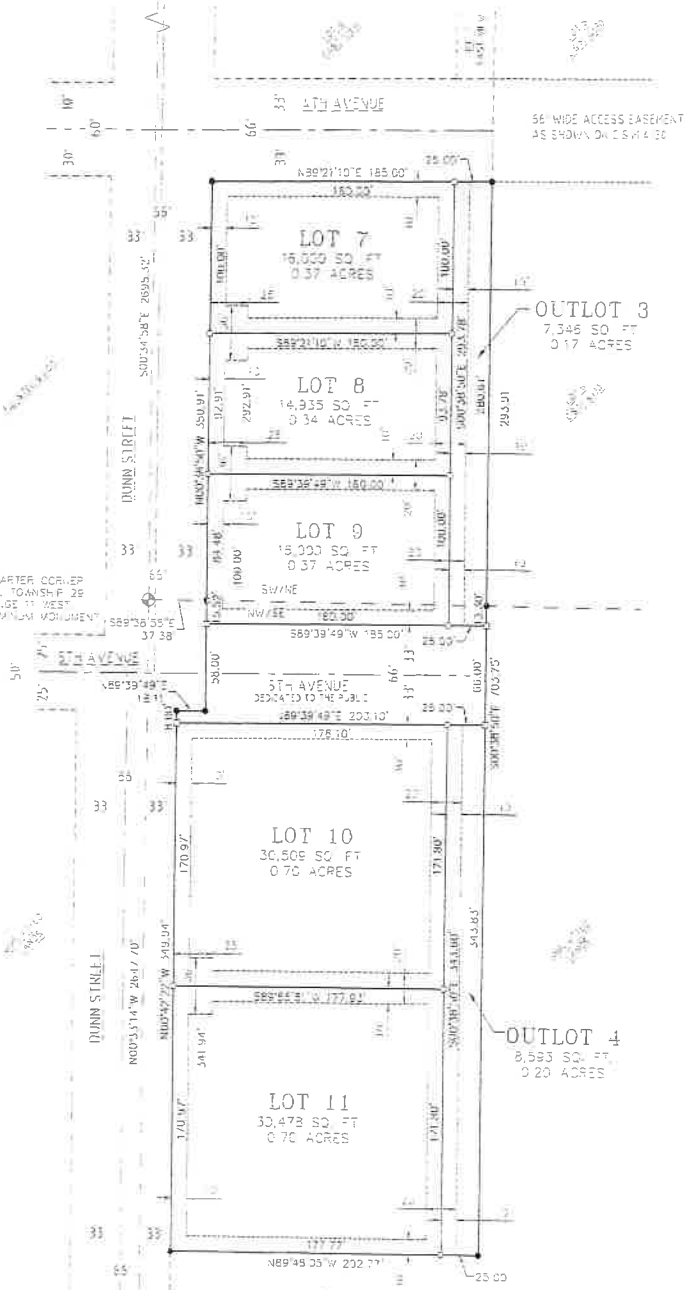
BEING ALL OF LOT 4 OF CERTIFIED SURVEY MAP NO. 4129, VOLUME 20, PAGE 69, DOCUMENT NO. 605970, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST, VILLAGE OF COLFAX, DUNN COUNTY, WISCONSIN

DOCUMENT NUMBER 657118
 REC'D DECEMBER 9, 2021 AT 1:09 PM
 RECORDED: VOLUME 9 PLATS PAGE 42
Heather M. Kuhn
 HEATHER M. KUHN, REG OF DEEDS DUNN CO WI

NORTH QUARTER CORNER SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST, FOUND BY ROAD SPIKE

CENTER QUARTER CORNER SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST, FOUND BY ALUMINUM MONUMENT

SOUTH QUARTER CORNER SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST, FOUND BY ALUMINUM MONUMENT



UTILITY EASEMENT NOTE

NO POLE OR BURIED CABLES TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE, OR OBSTRUCT VISION ALONG ANY LOT LINE OR STREET LINE. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF SECTION 32E.32 OF WISCONSIN STATUTES. UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE/PUBLIC UTILITIES HAVING A RIGHT TO SERVE THE AREA.

SURVEYOR'S CERTIFICATE

I, DUSTIN J. LABLONDE, WISCONSIN PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE PLAT OF EAST VIEW 1ST ADDITION, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST, VILLAGE OF COLFAX, DUNN COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS:

BEING ALL OF LOT 4 OF CERTIFIED SURVEY MAP NO. 4129, VOLUME 20, PAGE 69, DOCUMENT NO. 605970.

SAID PARCEL CONTAINS 3.13 ACRES OR 136,222 SQUARE FEET MORE OR LESS, AND IS SUBJECT TO AND TOGETHER WITH ALL SHOWN EASEMENTS, AND ALL OTHER EASEMENTS, RESTRICTIONS, RESERVATIONS, AND CONVEYANCES OF RECORD.

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND PLAT AT THE DIRECTION OF THE VILLAGE OF COLFAX, 613 MAIN STREET, P.O. BOX 417, COLFAX, WISCONSIN 54730. THAT SAID PLAT IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF MADE THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 218 OF THE WISCONSIN STATE STATUTES, CHAPTER 442 OF THE WISCONSIN ADMINISTRATIVE CODE, THE SUBDIVISION REGULATIONS OF THE VILLAGE OF COLFAX AND THE SUBDIVISION REGULATIONS OF DUNN COUNTY, IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS 30TH DAY OF SEPTEMBER, 2021

D.J.L.
 DUSTIN J. LABLONDE P.L.S. #3086
 FIELDWORK: 9/30/2021
 DRAFTED: 9/30/2021
 REVISED: 11/03/2021



CERTIFICATE OF VILLAGE TREASURER

STATE OF WISCONSIN)
 COUNTY OF Dunn; SS

I, DANN NISSEWANN, BEING DULY ELECTED, QUALIFIED, AND ACTING VILLAGE TREASURER FOR THE VILLAGE OF COLFAX, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS 14th DAY OF December, 2021 ON ANY OF THE LAND INCLUDED IN THE PLAT OF EAST VIEW 1ST ADDITION.

DATE: 12/3/2021
Dann Nissewann
 DANN NISSEWANN, VILLAGE OF COLFAX TREASURER

CERTIFICATE OF COUNTY TREASURER

STATE OF WISCONSIN)
 COUNTY OF Dunn; SS

I, SIFIA JENKE, BEING DULY ELECTED, QUALIFIED, AND ACTING COUNTY TREASURER, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS 9th DAY OF December, 2021 ON ANY OF THE LAND INCLUDED IN THE PLAT OF EAST VIEW 1ST ADDITION.

DATE: 12-9-2021
Sifia Jenke
 SIFIA JENKE, DUNN COUNTY TREASURER

Lynn Niggemann

From: Jason Griepentrog <jason@gripdevelopment.com>
Sent: Friday, June 9, 2023 5:01 PM
To: Lynn Niggemann
Cc: Sonny Orion Builders Framing
Subject: Re: East View Development Village of Colfax
Attachments: Bi-Level Planset.pdf; Ranch- Spec- Final set 8-13 (1).pdf; Twinhome Plan.pdf

Good Day Lynn:

Here are the responses as requested. Sonny with our group will be in attendance to answer any questions you may have.

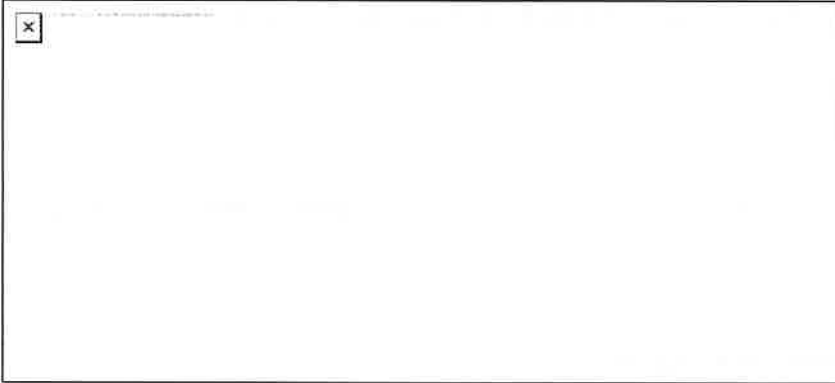
Monday night's meeting will be to review each request in regards to:

- Which lot(s) are of interest to you - **We would love the opportunity to build and provide a tax basis to the Village on the 2 single and 2 multi-family lots.**
- What type of **timeline** is expected for construction to begin and end - **We anticipate applying for building permits after the lot allocation awards and beginning construction in August/September timeframe.**
- What is your expectation from the Village - **Responsiveness and willingness to work with Developers and break down the barriers that we sometimes face in other communities**
- What are you offering - **Creating affordable housing stock with no compromise to quality or aesthetics**
- Drawings of your designs/floorplan (if you have any) - **Final plans are forthcoming. Preliminary plans from other build projects are attached. We would be looking to build a variety of homes of which we'd like to showcase a bi-level and ranch with a finished basement option. These will compliment the surrounding new homes that have been built or are in the process of being built. With respect to the bi-level we are looking to add a 3rd garage stall as this is typically what is in demand. Twinhome plans we really hope to hit upon a much needed price point and would likely lean towards doing something slab-on-grade similar to the attached. This has been a very popular floorplan in other markets that we have built and believe we can sell these for approximately \$250-265k per unit. Based on looking at the grades of the lots we may need to do a split-level type twin design with finishing living on all levels. This will be determined once grades have been established.**
- Who will be the contractor - **Self performing by acting in the capacity as the general contractor**
- Do you have the financing available - **Cash with no bank financing requirements**
- Please make reference if you are able to uphold the requests in the developers agreement
 - Deposit payment - **Yes**
 - Minimum value &/or your estimated value at construction completion - **Single-family homes we expect a bare minimum valuation of \$300,000 per lot. On the twinhome units (per side) we fully expect a minimum valuation of \$225,000.**
 - Siding materials - **Vinyl lap and board/batten with LP trim accents**
 - Driveway requirements - **Either concrete/blacktop**
 - Permitting - **Yes property applications will be completed and permitted prior to construction commencement**
 - Lawn & trees planting - **A professional landscape contractor will be engaged to design and install all soft and hardscape features. Irrigation systems will also be installed to ensure lawn quality.**
 - Proof of preapproval of mortgage financing - **Yes proof of funds will be provided if necessary**
 - Certificate of Occupancy no greater than 12 months of signing - **End goal would be to have all units completed and ready for occupancy by the end of 2023.**

In closing, GRIP Development and our team would love the opportunity to help support and achieve the Village of Colfax housing goals and initiatives.

Sincerely,

Jason



On Fri, Jun 9, 2023 at 12:08 PM Lynn Niggemann <clerktreasurer@villageofcolfaxwi.org> wrote:

The Village of Colfax Board of Trustees will be meeting on Monday, June 12th, 2023 at 7 pm.

One of the agenda topics will be the East View Development and four lots that are available as of right now. There are two single-family lot and two multi-family lots. We have had a great response to the Channel 18 news clip.

Monday night's meeting will be to review each request in regards to:

- Which lot(s) are of interest to you
- What type of **timeline** is expected for construction to begin and end
- What is your expectation from the Village
- What are you offering
- Drawings of your designs/floorplan (if you have any)
- Who will be the contractor
- Do you have the financing available
- Please make reference if you are able to uphold the requests in the developers agreement
 - Deposit payment
 - Minimum value &/or your estimated value at construction completion
 - Siding materials
 - Siding materials
 - Driveway requirements
 - Permitting
 - Lawn & trees planting
 - Proof of preapproval of mortgage financing
 - Certificate of Occupancy no greater than 12 months of signing

Things that will need to happen once Board has made decision include:

- Land purchase application
- Developers Agreement

Things I hope to have by Monday evening include:

- Verify zoning of each lot.
- Possibility/process to change zoning/sub-diving parcel to accommodate twin home interest on the multi-family lots.

Once everyone is on the same page, land can be transferred to awarded parties and things can get started with contacting our building inspector, Fred Weber, 715-556-0066.

If you are interested in attending the meeting also on Monday night, please let me know that you plan to be there so I can set the room up accordingly. Our meetings are held at 613 Main Street, Colfax, WI 54730.

Thank you so much for your patience and response.

Lynn M. Niggemann

Administrator-Clerk-Treasurer

Village of Colfax

P.O. Box 417

613 Main Street

Colfax, WI 54730-0417

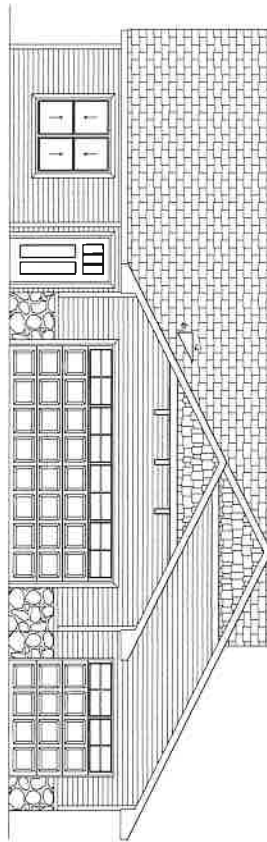
P: 715-962-3311; C: 715-308-9986; F: 715-962-2221

ClerkTreasurer@villageofcolfaxwi.org

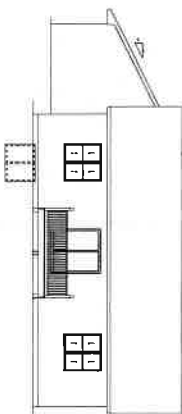
Population 1,191 as of January 1, 2022

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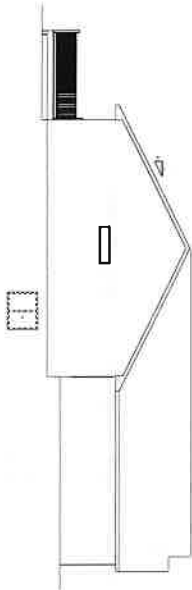
SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER



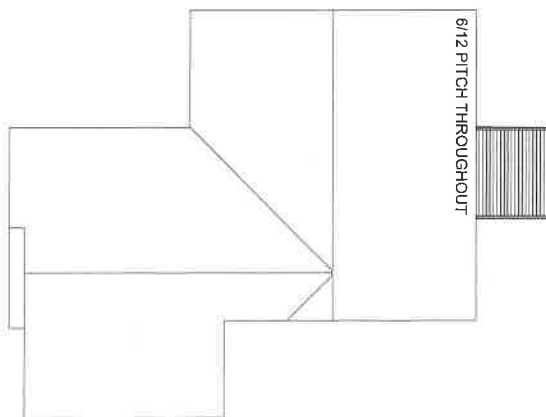
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



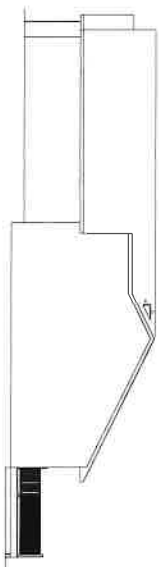
REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



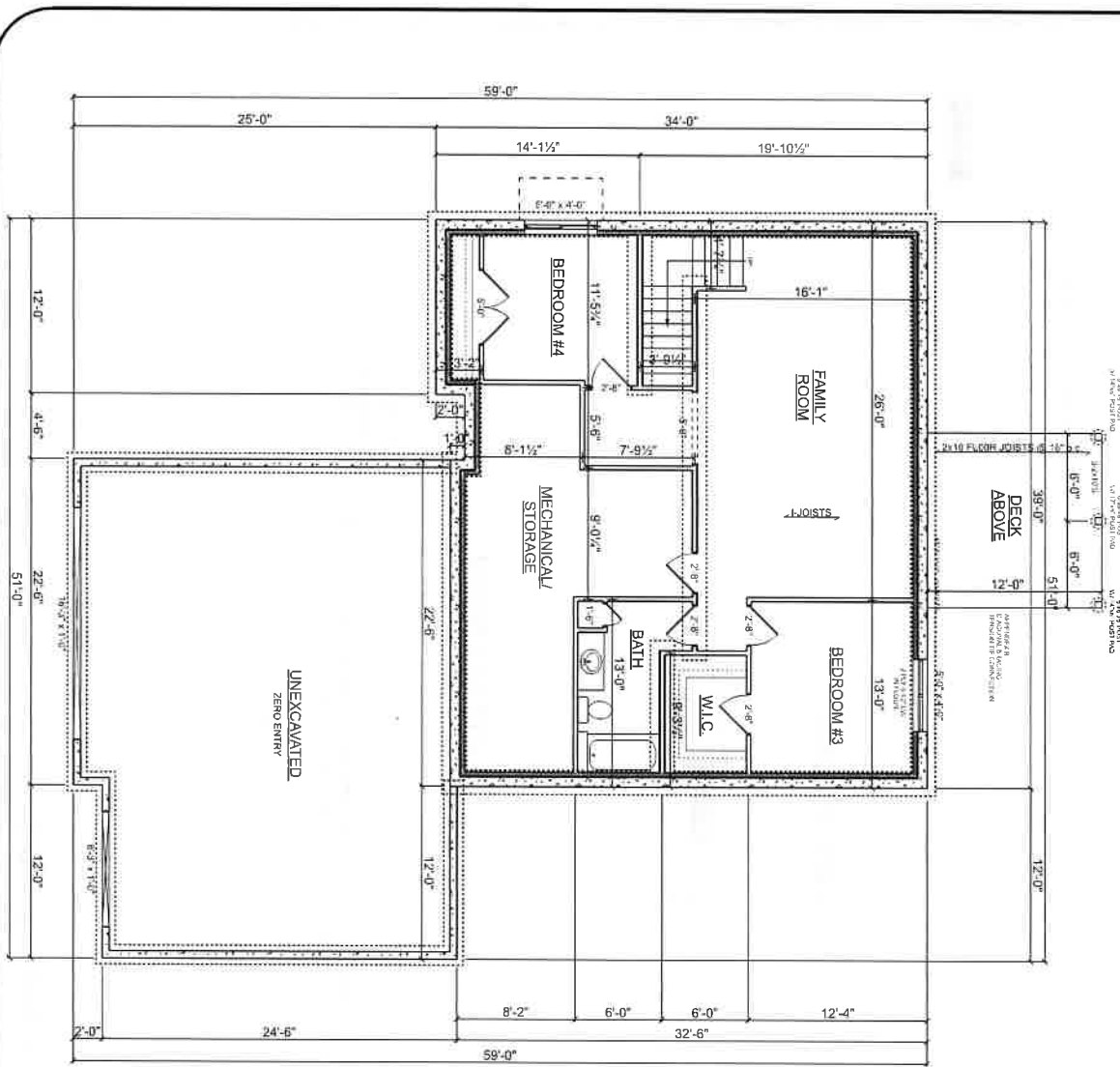
ROOF PLAN
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

IMPORTANT

1. These drawings are the property of Orion Builders, Inc. and are to be used only for the project and location specified. 2. These drawings are not to be used for any other purpose. 3. Orion Builders, Inc. is not responsible for any errors or omissions in these drawings. 4. Orion Builders, Inc. is not responsible for any changes or modifications to these drawings. 5. Orion Builders, Inc. is not responsible for any delays or cancellations of this project. 6. Orion Builders, Inc. is not responsible for any damage to property or persons. 7. Orion Builders, Inc. is not responsible for any other claims or liabilities. 8. Orion Builders, Inc. is not responsible for any other matters. 9. Orion Builders, Inc. is not responsible for any other matters. 10. Orion Builders, Inc. is not responsible for any other matters.



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FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 FINISH S.F. = 990

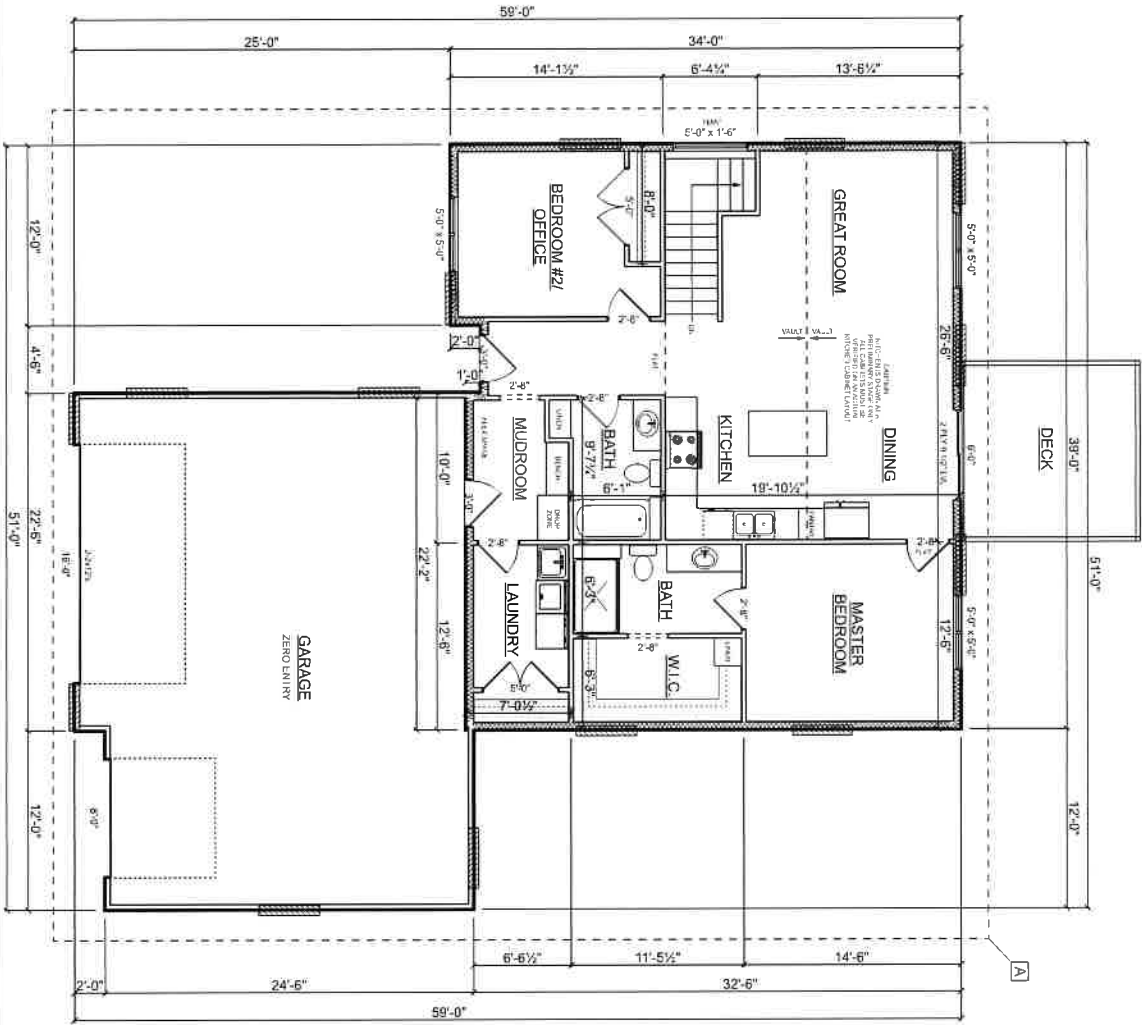
STRUCTURAL NOTES:
 ALL DIMENSIONS INDICATED OR SPECIFIED TO CENTER UNLESS NOTED.
 ALL FOUNDATIONS SHALL BE CONCRETE ON GRADE.
 ALL FOUNDATIONS SHALL BE REINFORCED WITH #4 BARS @ 12" O.C. IN BOTH DIRECTIONS.
 ALL REINFORCEMENT SHALL BE PLACED WITH THE WINDWARD DOWN SLOPE REPRESENTATIVE BRACING AND FASTENING REQUIREMENTS WITH THE FOUNDATION DESIGNER'S SPECIFICATIONS.

WALL BRACING REQUIREMENTS:
 CONTINUOUS STRUTTED METHOD (CS, WSF) AND PORTAL FRAME (PF) METHOD WHERE NOTED.
 NOTES:
 WIND EXPOSURE: CATEGORY - B
 EAVE TO RIDGE HEIGHT = 10' 0" RECT. A
 PORTAL FRAME MIN PANEL LENGTH = 18'
 RECTANGULAR WALL DATA:
 WALLS SUPPORTING ROOF AND CEILING ONLY
 HOUSE WALL HEIGHT = 8' 0"
 CS WIND WALL HEIGHT = 8' 0"
 LEADING SIDE LENGTH = 12' 0"
 TRAILING SIDE LENGTH = 17' 0"
 SHORR SIDE LENGTH = 9'-1 1/2"
 REQUIRED WALL BRACING = 17'-0"
 UNDESIRABLE BRACED WALL PANELS ALLOWING ABUTTING SIDE
 12'-0" MAX DISTANCE FROM END OF SIDE
 24'-0" MAX DISTANCE BETWEEN PANELS

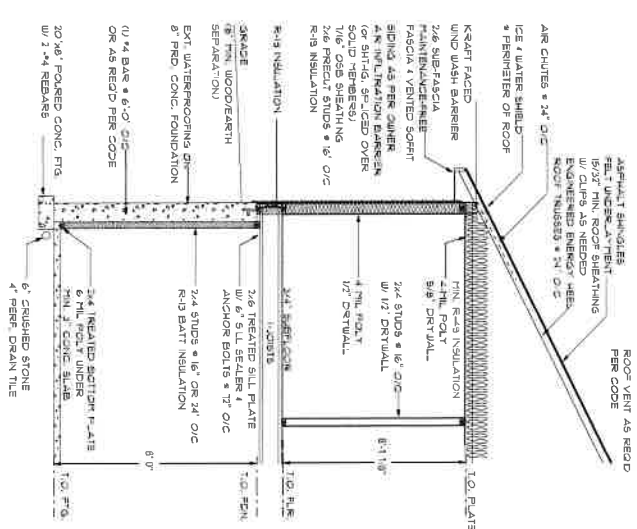
▨ = BRACED WALL PANEL

Sales Rep: Brandon Maurer
 Design By: Randy Voelmann

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1 - STORY WALL SECTION

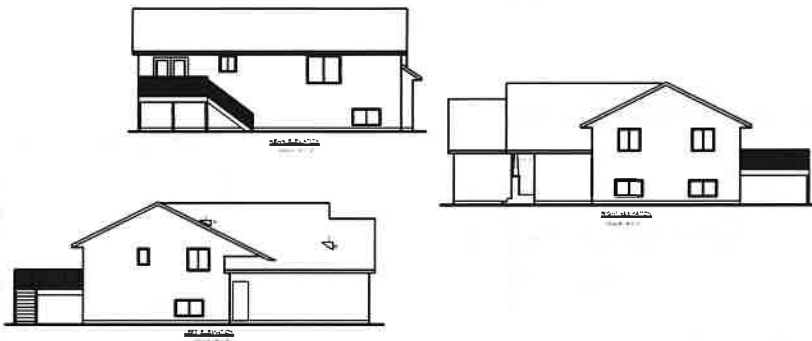


STRUCTURAL NOTES:
 ALL DIMENSIONS UNLESS OTHERWISE NOTED TO CENTERS OF INTERIOR STUDS.
 ALL DIMENSIONS 1/4\"/>

WALL BRACING METHOD USED:
 CONTINUOUS SHEATHED METHOD (CSWSP) AND PORTAL FRAME (PF) METHOD WHERE NOTED.
NOTES:
 1. WIND EXPOSURE CATEGORY = B
 2. WIND SPEED = 110 MPH
 3. WIND PRESSURE COEFFICIENT = 0.8
 4. PORTAL FRAME MIN. PANEL LENGTH = 18'
 5. RECTANGLE C.J. DATA:
 WALLS SUPPORTING ROOF AND CEILING ONLY
 EAVE TO RIDGE HEIGHT = 11'-0"
 ROOF WIND HEIGHT = 6'-0"
 ROOF WIND LENGTH = 32'
 LONG SIDE LENGTH = 99'-0"
 REQUIRED WALL BRACING = 8'-0"
 SHORT SIDE LENGTH = 51'-0"
 REQUIRED WALL BRACING = 9'-0"
LOCATION OF BEARING WALL PANELS AT CORNER:
 17'-0" MAX. DIST. FROM END OF SIDE
 21'-0" MAX. DISTANCE BETWEEN PANELS
 A BUILDING SIDE:
 [Symbol] = BRACED WALL PANEL

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FINISH S.F. = 1.306

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FRONT ELEVATION
SCALE 1/4"=1'-0"

IMPORTANT

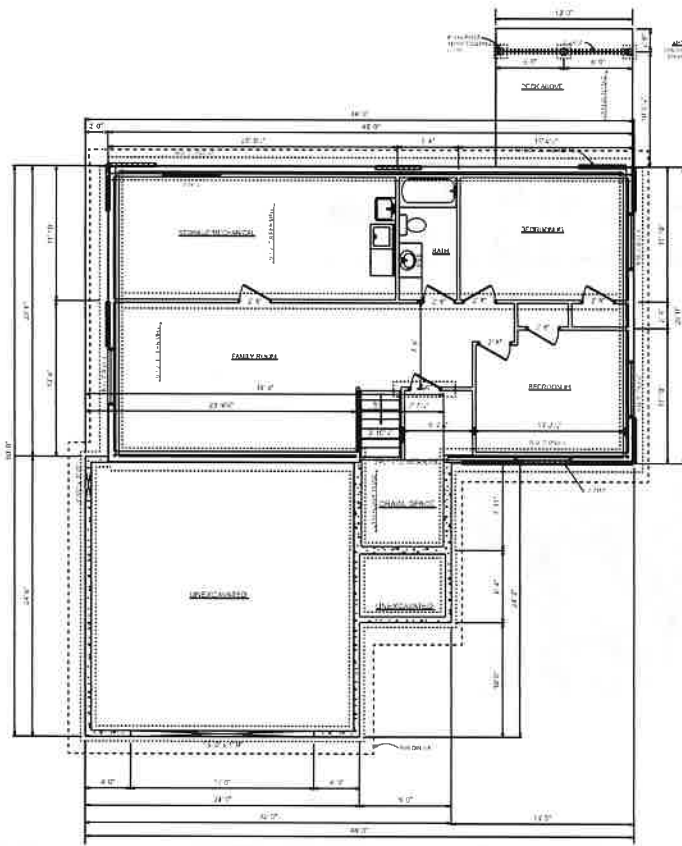
Builder:
Flume #
Sales Rep: Neil Gausalki
Design By: Brandon Dobbs

Project # 18-045
address: 1414
address: 1414

ChoicePoint
Lot 1
Eau Claire, WI

Builders FirstSource
A1

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STRUCTURAL NOTES

ALL DIMENSIONS FROM OUTSIDE OF SHEATHING TO CENTER OF INTERIOR STUD.

REINFORCEMENT TO BE PLACED AS SHOWN.

CONCRETE SHALL BE 4000 PSI STRENGTH.

FOUNDATION SHALL BE 18" MIN. THICK CONCRETE WITH 4# REINFORCING BARS PER FOOT.

FOUNDATION SHALL BE 18" MIN. THICK CONCRETE WITH 4# REINFORCING BARS PER FOOT.

GENERAL NOTES

1. FOUNDATION SHALL BE 18" MIN. THICK CONCRETE WITH 4# REINFORCING BARS PER FOOT.

2. FOUNDATION SHALL BE 18" MIN. THICK CONCRETE WITH 4# REINFORCING BARS PER FOOT.

3. FOUNDATION SHALL BE 18" MIN. THICK CONCRETE WITH 4# REINFORCING BARS PER FOOT.

4. FOUNDATION SHALL BE 18" MIN. THICK CONCRETE WITH 4# REINFORCING BARS PER FOOT.

5. FOUNDATION SHALL BE 18" MIN. THICK CONCRETE WITH 4# REINFORCING BARS PER FOOT.

FOUNDATION PLAN

SCALE 1/4" = 1'-0"

FINISH S =

IMPORTANT

Builder: ChoicePoint
Phone #: 920-233-1111
Address: 1000 S. 10th St., Suite 100, Cary, NC 27513

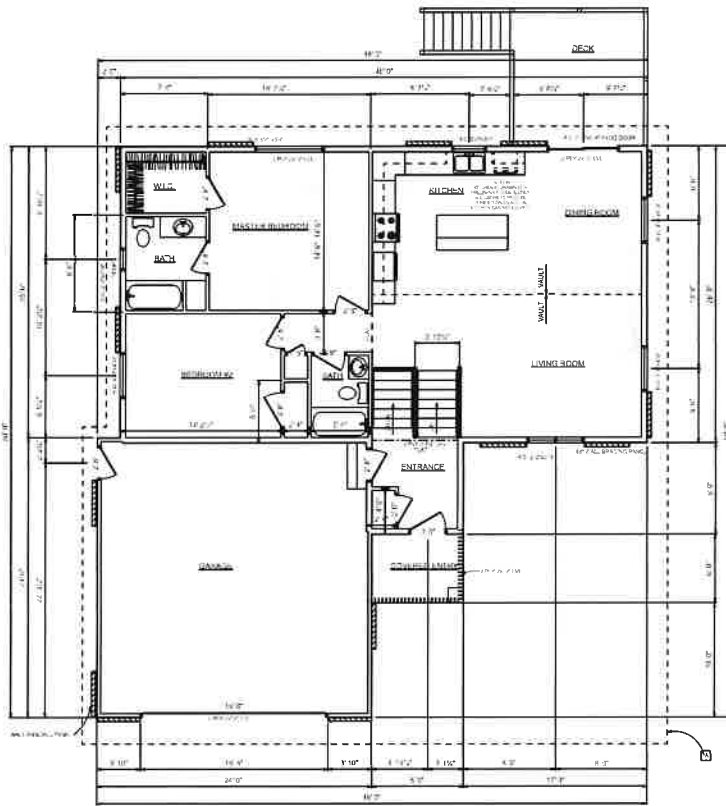
Project #: 18-045
Drawn by: [Name]
Checked by: [Name]

ChoicePoint
Lot 1
Eau Claire, WI

Builders FirstSource
CONSTRUCTION SOFTWARE

PAGE A2

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STRUCTURAL NOTES:

- 1. ALL DIMENSIONS FROM OUTLINE OF SHEATHING TO CENTER OF INTERIOR STUD.
- 2. ALL DIMENSIONS FROM CENTER TO CENTER OF INTERIOR STUD.
- 3. ALL DIMENSIONS FROM CENTER TO CENTER OF INTERIOR STUD.
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- 9. ALL DIMENSIONS FROM CENTER TO CENTER OF INTERIOR STUD.
- 10. ALL DIMENSIONS FROM CENTER TO CENTER OF INTERIOR STUD.

NOTES:

- 1. ALL DIMENSIONS FROM CENTER TO CENTER OF INTERIOR STUD.
- 2. ALL DIMENSIONS FROM CENTER TO CENTER OF INTERIOR STUD.
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- 7. ALL DIMENSIONS FROM CENTER TO CENTER OF INTERIOR STUD.
- 8. ALL DIMENSIONS FROM CENTER TO CENTER OF INTERIOR STUD.
- 9. ALL DIMENSIONS FROM CENTER TO CENTER OF INTERIOR STUD.
- 10. ALL DIMENSIONS FROM CENTER TO CENTER OF INTERIOR STUD.

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FINISH S.F. = 1264 SF

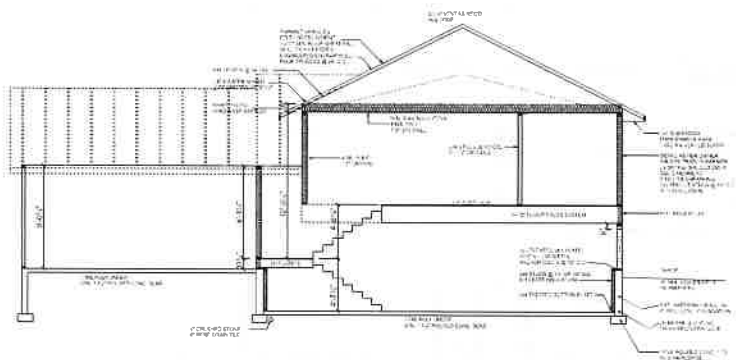
IMPORTANT

Builder: Builders FirstSource
Phone #: 800-851-8888

Project #: 18-005
Location: Eau Claire, WI

ChoicePoint Lot 1
 Eau Claire, WI

PAGE: A3
Builder's FirstSource
 CONSTRUCTION SOFTWARE



GENERIC BI-LEVEL SECTION

SCALE 1/4" = 1'-0"

IMPORTANT
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Builder:
 Phone #
 Sales Rep: Neil Glowinski
 Design By: Brandon Dobbs

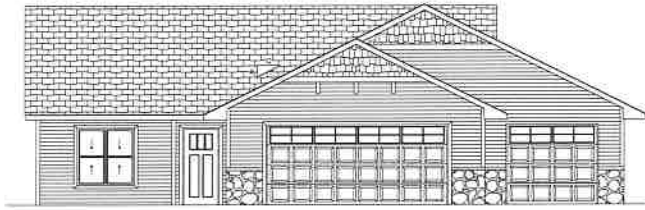
Project # 18445
 10000 10000 10000
 10000 10000 10000

ChoicePoint Lot 1
 East Claire, WI



Spec House

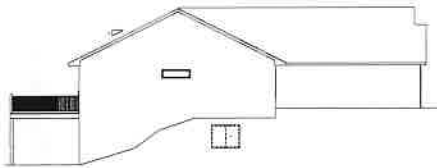
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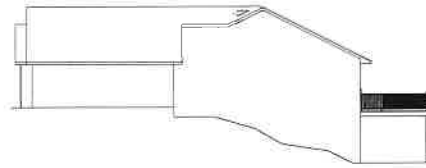
FRONT ELEVATION
SCALE 1/4" = 1'-0"



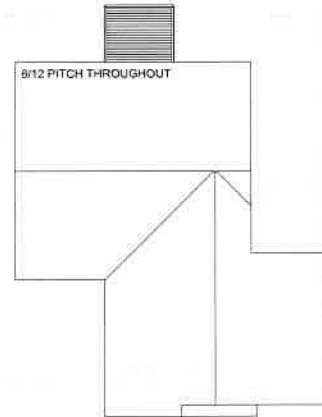
REAR ELEVATION
SCALE 1/8" = 1'-0"



LEFT ELEVATION
SCALE 1/8" = 1'-0"



RIGHT ELEVATION
SCALE 1/8" = 1'-0"



ROOF PLAN
SCALE 1/8" = 1'-0"

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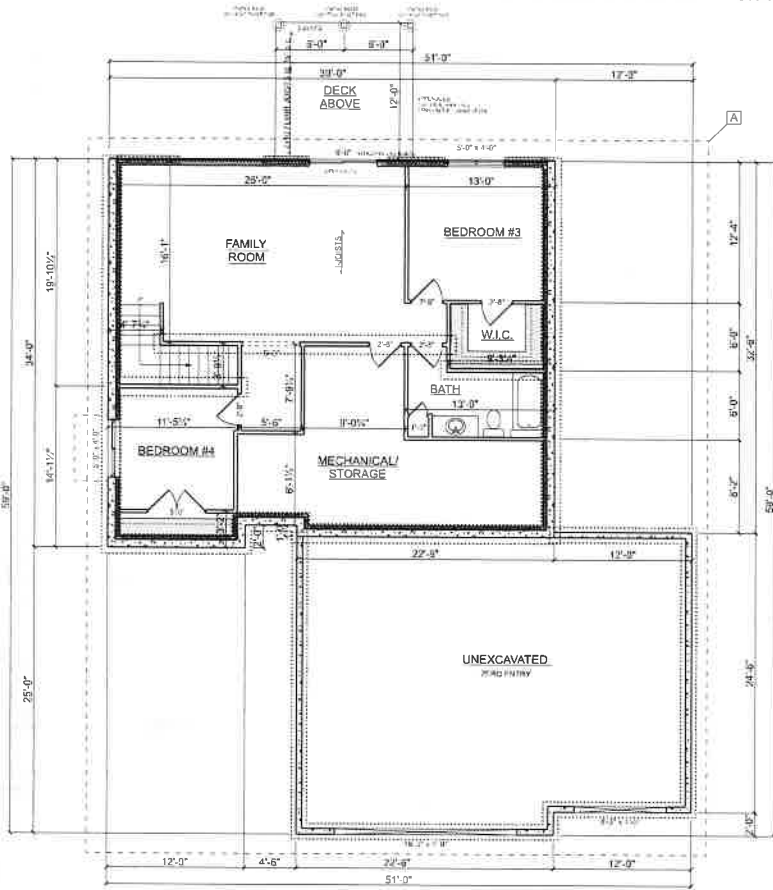
Project # 26-122
Final Date: 1/11/12
Riverbend Spec
Eau Claire, WI

Scale Rep: Brandon Maurer
Design by: Brandon Kropp

Builders FirstSource
CORPORATION
10000 WISCONSIN DRIVE
EQUISVILLE, OHIO 43081
TEL: 614-891-7000
WWW.BUILDERSFIRSTSOURCE.COM

PAGE: **A1**

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WALL BRACING REQUIREMENTS
 CONTINUOUS SHEATHED METHOD (CS-WSP) AND PORTAL FRAME (PF) METHOD WHERE NOTED

NOTES:
 1. NO EXPOSURE CATEGORY B
 EAVE TO RIDGE HEIGHT = 13'-0" RECT. A
 PORTAL FRAME MIN. PANEL LENGTH = 15'

MINIMUM WALL BRACING:
 WALLS SUPPORTING ROOF AND CEILING ONLY
 EAVE TO RIDGE HEIGHT = 10'-0"
 HOUSE WALL HEIGHT = 8'-0"
 CS-WSP MIN. PANEL WIDTH = 12'
 LONG SIDE LENGTH = 18'-0"
 REQUIRED WALL BRACING = 17'-0"
 SHORT SIDE LENGTH = 5'-0"
 REQUIRED WALL BRACING = 17'-0"

LOCATION OF BRACED WALL PANELS:
 BUILDING SIDE
 17'-0" MAX. DISTANCE FROM END OF SIDE
 21'-0" MAX. DISTANCE BETWEEN PANELS

— BRACED WALL PANEL

STRUCTURAL NOTES:
 ALL DIMENSIONS FROM INTERIOR OR CENTERLINE UNLESS NOTED OTHERWISE
 ALL LOCATIONS REFERRED TO IN NOTES
 1. REFER TO WALL SCHEDULES FOR ALL WALL TYPES AND FINISHES
 2. REFER TO WINDOW SCHEDULES FOR ALL WINDOW TYPES AND FINISHES
 3. REFER TO DOOR SCHEDULES FOR ALL DOOR TYPES AND FINISHES
 4. REFER TO LOCAL BUILDING DEPARTMENT FOR ALL LOCAL BUILDING DEPARTMENT

FOUNDATION PLAN
 SCALE 1/4" = 1'-0"
 FINISH S.F. = 990'

IMPORTANT

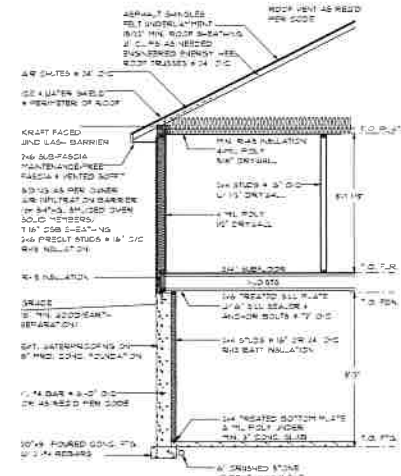
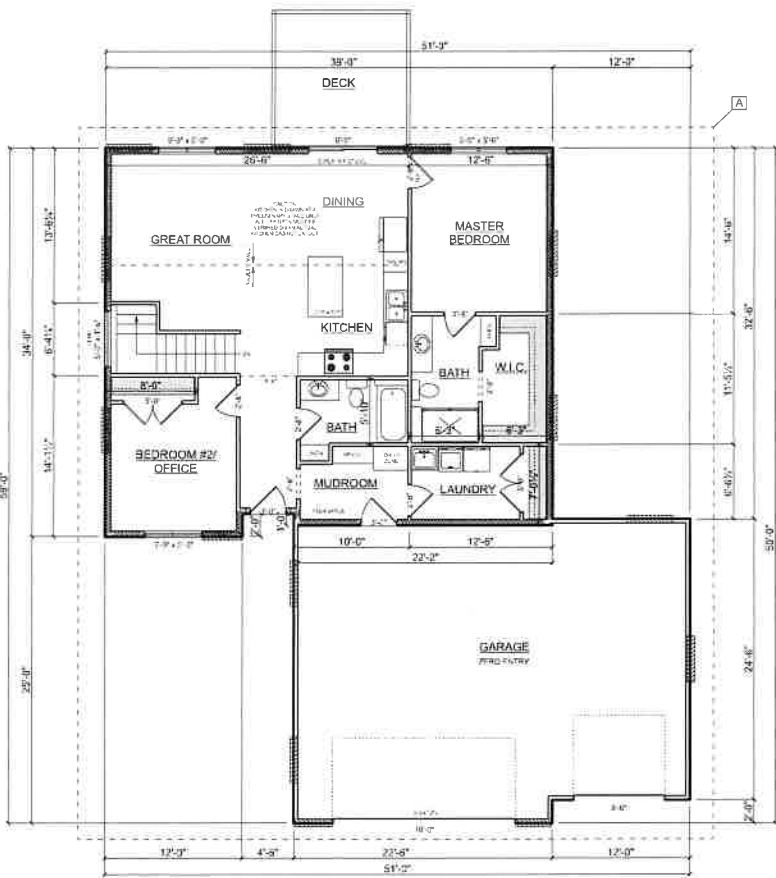
Project # 20-122
 Final Date: 11/11/2020
 Revision: 01/11/2020

Riverbend Spec Eau Claire, WI

Builders FirstSource
 1000 W. Main Street, Eau Claire, WI 54601
 715.835.1234

Author: [Name]
 Designer: [Name]
 Checker: [Name]
 Engineer: [Name]

SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER



1 - STORY WALL SECTION

STRUCTURAL NOTES:
 ALL WALL BRACING FROM CORNER OF WALL TO CENTER OF NEXT CORNER.
 ALL WALLS TO BE 15' MIN. VERTICAL BRACING.
 BRACING SHALL BE FULL CROSS SECTION WITH THE UNBROKEN CORNER SALES REPRESENTATIVE.
 BUILDER IS RESPONSIBLE FOR VERIFYING ALL BRACING AND FASTENING REQUIREMENTS WITH THE LOCAL BUILDING DEPARTMENT.

ALL BRACING METHOD-005 (MSD) CONTINUOUS SHEATHED METHOD (CS MSF) AND PORTAL FRAME (PF) METHOD WHERE NOTED.
WALLS:
 WIND EXPOSURE CATEGORY = B
 DUCT TO SIDING HEIGHT = 10'-0" EXCEPT A PORTAL FRAME WALL PANEL LENGTH = 15'
ROOFING:
 WALLS SUPPORTING ROOF AND CEILING ONLY
 EAVE TO RIDGE HEIGHT = 10'-0"
 HOUSE WALL HEIGHT = 8'-0"
 CS MSF MIN. PANEL WIDTH = 3'-0"
 LONG SIDE LENGTH = 5'-0"
 REQUIRED WALL BRACING = 8'-0"
SHOWN SIDE BRACING = 5'-0"
 REQUIRED WALL BRACING = 8'-0"
LOCATION OF BRACED WALL PANELS:
 ALL WALL PANELS
 12'-0" MAX. DISTANCE FROM END OF SIDE
 3'-0" MAX. DISTANCE BETWEEN PANELS
 [Symbol] = BRACED WALL PANEL

FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"
 FINISH S.F. = 1,305

IMPORTANT

Project # 20-122
 Date: 08/12/2020
 Title: 1st Floor Plan

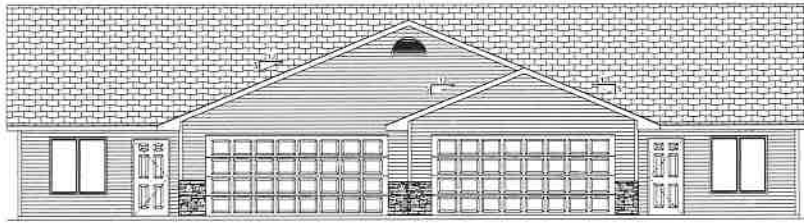
Scale Rep: Brandon Mihal
 Design By: Brandon Mihal

Builders FirstSource
 Eau Claire, WI

PAGE: **A3**

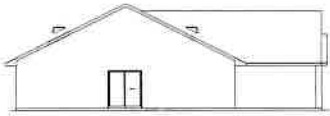
SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER

NOTE:
UNLESS OTHERWISE NOTED
4/12, 5/12, & 6/12 = 24" OH AT EAVES
7/12 & 8/12 PITCH = 18" OH AT EAVES
9/12, 10/12, 11/12, 12/12 = 16" OH AT EAVES
12" OH TYPICAL AT GABLES
TRUSS MANUF. TO ADJUST HEEL HEIGHTS
ACCORDINGLY TO ALIGN FASCIAS



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

IMPORTANT

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Builder: Phone #
Sales Rep: Neil Gwinski
Design By: Brandon Dibbs

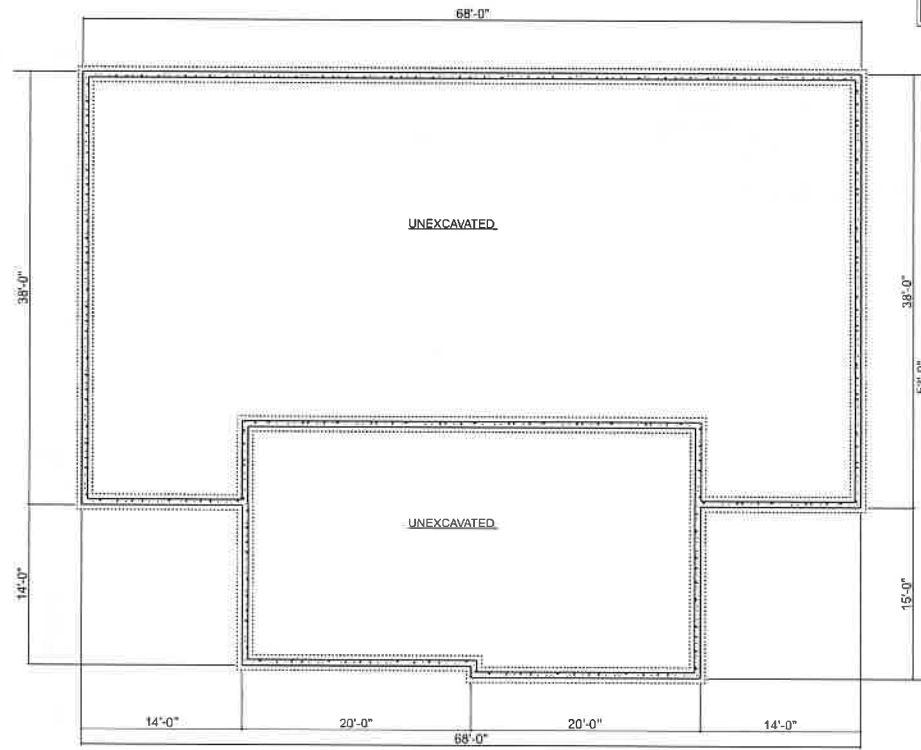
Project #: 18-084
Address: 1718
City: Waukegan, IL

Hoss Brothers
North Hastings Way
Eau Claire, WI

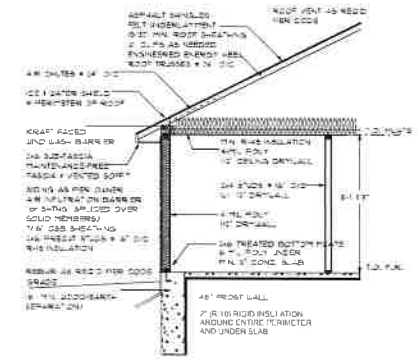


PAGE: A1

SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER



STRUCTURAL NOTES:
 ALL DIMENSIONS REQUIRE USE OF BREATHING TO CENTER OF PERFORATION.
 ALL MEMBERS 1/4" THICK UNLESS NOTED.
 SLICES MUST SURVIVAL 40 FT. L.S. SPACES WITH 4" W/SPACING FLOOR SLICES REPRESENTATIVE VALUES FOR CONCRETE CONSTRUCTION ALL SPACES AND 1/4" L.S. UNLESS NOTED WITH THE LOCAL S.A. DESIGN PROFESSIONAL.



1 - STORY WALL SECTION

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 FINISH S.F. = 1143sf Exch Side

IMPORTANT
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Project # 18-994
 North Hastings Way Eau Claire, WI

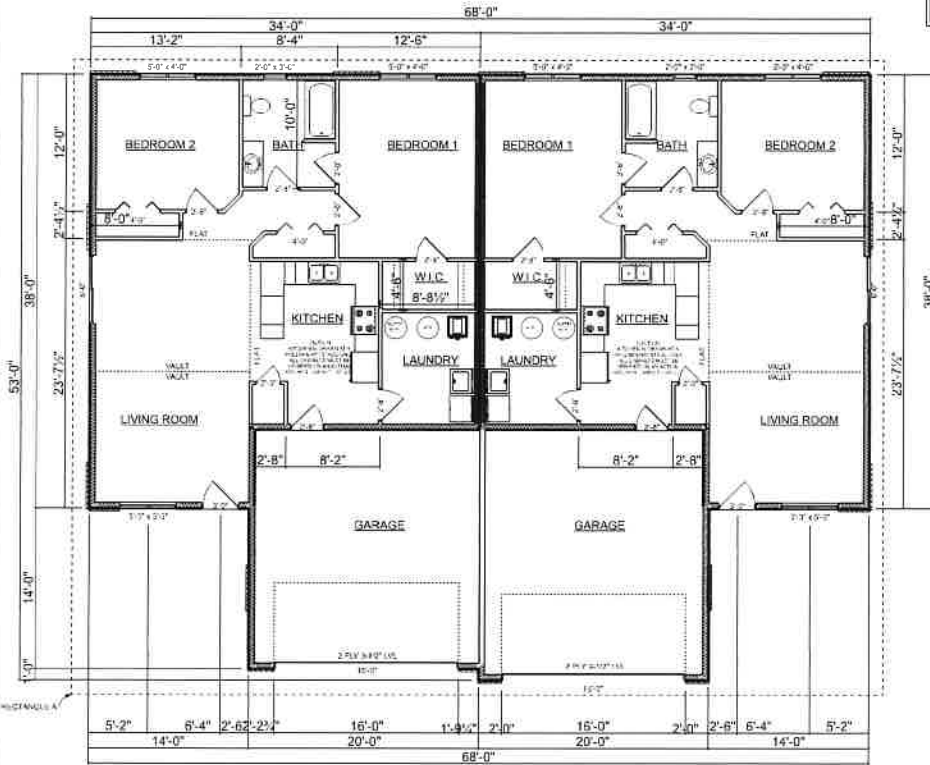
Hoss Brothers North Hastings Way Eau Claire, WI

Builder: Hoss Brothers
Phone #: 715-835-1111
Sales Rep: Neil Skowinski
Design By: Brennan Dobbs

Builders FirstSource
 A Division of Hoss Brothers
 1143 North Hastings Way, Eau Claire, WI 54601
 715-835-1111

PAGE A2

SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER



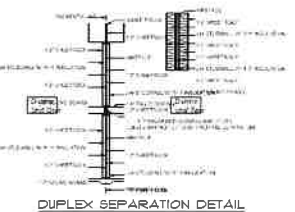
STRUCTURAL NOTES:
 ALL DIMENSIONS ARE IN UNITS OF 1/8" UNLESS OTHERWISE NOTED.
 ALL HEADERS TO BE 2" MIN. WALLS MIN. 12".
 ALL WALLS TO BE 8" MIN. THICKNESS UNLESS OTHERWISE NOTED.
 BRICKS TO BE 8" MIN. WALLS MIN. 12".
 BRICKS TO BE 8" MIN. WALLS MIN. 12".

WIND EXPOSURE CATEGORY = B
 CONTINUOUS SHEATHED METHOD (CS-WSP) AND PORTAL FRAME (PF) METHOD WHERE NOTED

NOTES:
 WIND EXPOSURE CATEGORY = B
 RAISE TO ROOF HEIGHT = 9' 5" EXCEPT A 5' 0"
 PORTAL FRAME MIN. PANEL LENGTH = 18'
 10' MIN. WALL PANEL
 WALLS SUPPORTING ROOF AND CEILING ONLY
 RAISE TO ROOF HEIGHT = 10' 0"
 HOUSE WALL HEIGHT = 8' 0"
 CS-WSP MIN. PANEL WIDTH = 32"
 LONG SIDE LENGTH = 48"
 REQUIRED WALL BRACING = 11' 8"
 SHORT SIDE LENGTH = 51' 0"
 REQUIRED WALL BRACING = 13' 9"

LOCATION OF BRACED WALL PANELS BEYOND BUILDING SIDE:
 12' 0" MAX. DISTANCE FROM END OF SIDE
 21' 0" MAX. DISTANCE BETWEEN PANELS

----- BRACED WALL PANEL



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FINISH S.F. = 1143sf Each Side

IMPORTANT

Builder: [Name]
 Planner: [Name]
 Project #: 15484
 Revision: 07-28
 Revision: 07-28

Hess Brothers
 North Hastings Way
 Eau Claire, WI

Builders FirstSource
 1000 W. Main Street
 Eau Claire, WI 54601
 715.835.4600

PAGE: A3

Lynn Niggemann

From: Dave Rosenbrook <rosenbrookconstruction@gmail.com>
Sent: Monday, June 12, 2023 2:39 PM
To: Lynn Niggemann
Subject: RE: East View Development Village of Colfax
Attachments: Application to purchase 2019-08-27[23718].docx; Example 1.pdf; Example 2.pdf; Example 3.pdf; Example 4.pdf; Example 5.pdf; Financing Approval.pdf; IMG_2227.jpg; IMG_2229.jpg; IMG_2234.jpg; IMG_2239.jpg

Hi Lynn,

Here are my answers to your questions below. Thank you!

1. Multi Family lots / Future residential lots and more R2
2. Fall 2023-Spring 2024
- 3.
4. Offering to build a top quality built Twin Home with great curb appeal, hopefully in the future to build more.
5. Attached are floor plans
6. Rosenbrook Construction
7. Financing is through Security Bank
8.
 1. Deposit payment: yes
 2. Value: \$250,000-\$300,000
 3. Smart Board Siding
 4. Concrete Driveway
 5. Contractor will do permitting
 6. Lawn/Trees will be done by contractor
 7. Yes, attached is letter of preapproval of mortgage financing
 8. Agree to no greater than 12 months of signing for certificate of occupancy

Thank you for taking the time to show me the property today.

Dave Rosenbrook

Sent from [Mail](#) for Windows

From: [Lynn Niggemann](#)
Sent: Friday, June 9, 2023 12:09 PM
To: rosenbrookconstruction@gmail.com
Subject: East View Development Village of Colfax

The Village of Colfax Board of Trustees will be meeting on Monday, June 12th, 2023 at 7 pm.

One of the agenda topics will be the East View Development and four lots that are available as of right now. There are two single-family lot and two multi-family lots. We have had a great response to the Channel 18 news clip.

Monday night's meeting will be to review each request in regards to:

1. Which lot(s) are of interest to you
2. What type of **timeline** is expected for construction to begin and end

3. What is your expectation from the Village
4. What are you offering
5. Drawings of your designs/floorplan (if you have any)
6. Who will be the contractor
7. Do you have the financing available
8. Please make reference if you are able to uphold the requests in the developers agreement
 1. Deposit payment
 2. Minimum value &/or your estimated value at construction completion
 3. Siding materials
 4. Siding materials
 5. Driveway requirements
 6. Permitting
 7. Lawn & trees planting
 8. Proof of preapproval of mortgage financing
 9. Certificate of Occupancy no greater than 12 months of signing

Things that will need to happen once Board has made decision include:

9. Land purchase application
10. Developers Agreement

Things I hope to have by Monday evening include:

11. Verify zoning of each lot.
12. Possibility/process to change zoning/sub-diving parcel to accommodate twin home interest on the multi-family lots.

Once everyone is on the same page, land can be transferred to awarded parties and things can get started with contacting our building inspector, Fred Weber, 715-556-0066.

If you are interested in attending the meeting also on Monday night, please let me know that you plan to be there so I can set the room up accordingly. Our meetings are held at 613 Main Street, Colfax, WI 54730.

Thank you so much for your patience and response.

Lynn M. Niggemann

Administrator-Clerk-Treasurer

Village of Colfax

P.O. Box 417

613 Main Street

Colfax, WI 54730-0417

P: 715-962-3311; C: 715-308-9986; F: 715-962-2221

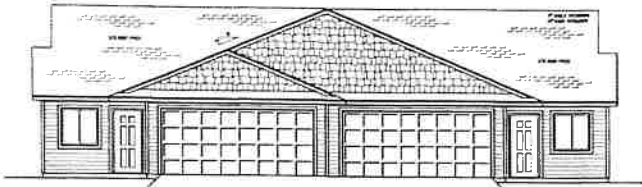
ClerkTreasurer@villageofcolfaxwi.org

Population 1,191 as of January 1, 2022

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Rosenbrook

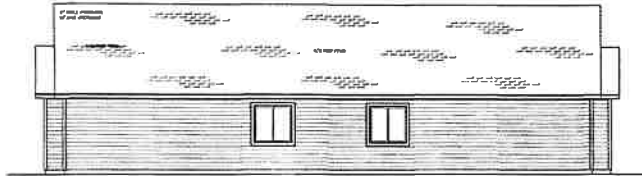
EX. 1



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

Architectural title block containing project information, a scale bar, and a logo.

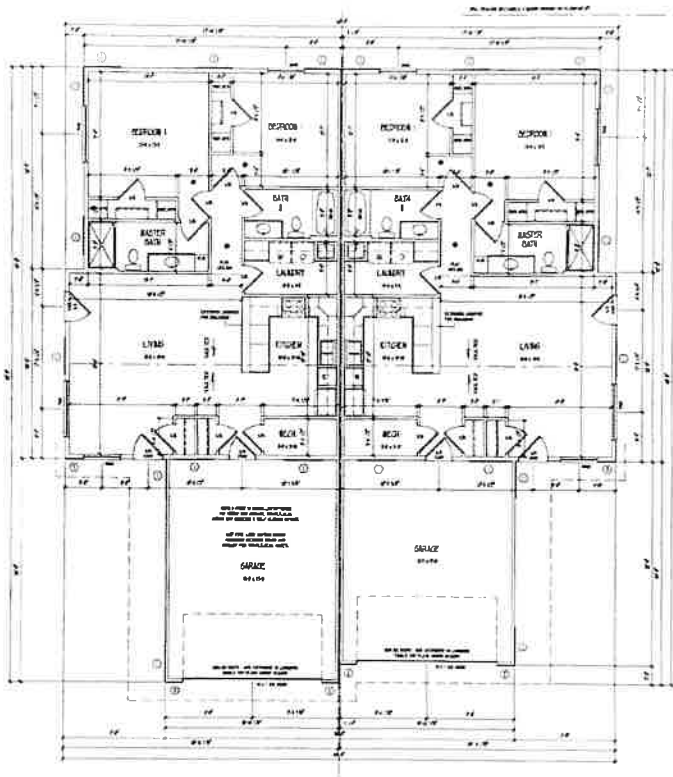
NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10

ELEVATIONS
RESIDENTIAL ARCHITECTURE
GENERAL CONTRACTOR

SCALE
1/4" = 1'-0"

DATE
4-20-20

DRAWN BY
A1



- VAL. BOX No. 81-03**
- 1) ALL ROOMS TO BE FINISHED WITH CARPETING
 - 2) ALL ROOMS TO BE FINISHED WITH WALL PAPER
 - 3) ALL ROOMS TO BE FINISHED WITH CEILING
 - 4) ALL ROOMS TO BE FINISHED WITH FLOORING
 - 5) ALL ROOMS TO BE FINISHED WITH LIGHTING
 - 6) ALL ROOMS TO BE FINISHED WITH PAINTING
 - 7) ALL ROOMS TO BE FINISHED WITH PLUMBING
 - 8) ALL ROOMS TO BE FINISHED WITH ELECTRICAL
 - 9) ALL ROOMS TO BE FINISHED WITH MECHANICAL
 - 10) ALL ROOMS TO BE FINISHED WITH EXTERIOR WORK

STAIRS TO BE FINISHED WITH CARPETING
 ALL STAIRS TO BE FINISHED WITH WALL PAPER
 ALL STAIRS TO BE FINISHED WITH CEILING
 ALL STAIRS TO BE FINISHED WITH FLOORING
 ALL STAIRS TO BE FINISHED WITH LIGHTING
 ALL STAIRS TO BE FINISHED WITH PAINTING
 ALL STAIRS TO BE FINISHED WITH PLUMBING
 ALL STAIRS TO BE FINISHED WITH ELECTRICAL
 ALL STAIRS TO BE FINISHED WITH MECHANICAL
 ALL STAIRS TO BE FINISHED WITH EXTERIOR WORK

GENERAL NOTES:
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING CODE
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE BOARDS

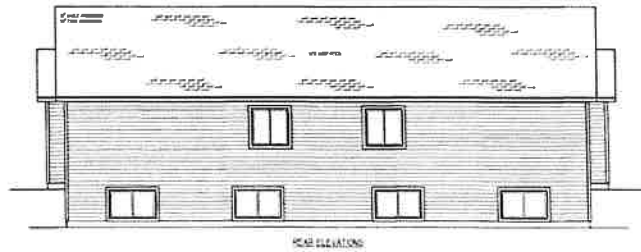
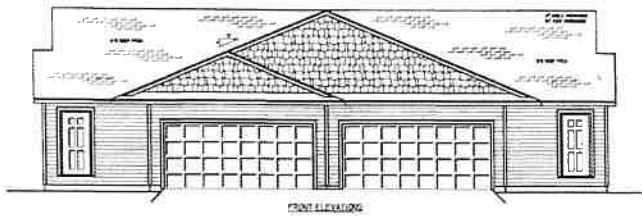
1ST FLOOR PLAN
 ARCHITECT: [Firm Name]
 ENGINEER: [Firm Name]

NO.	DATE	DESCRIPTION
1	10/1/00	ISSUED FOR PERMITS
2	10/15/00	REVISIONS
3	10/20/00	REVISIONS
4	10/25/00	REVISIONS
5	11/1/00	REVISIONS
6	11/15/00	REVISIONS
7	11/20/00	REVISIONS
8	11/25/00	REVISIONS
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94	9/15/02	REVISIONS
95	9/20/02	REVISIONS
96	9/25/02	REVISIONS
97	10/1/02	REVISIONS
98	10/15/02	REVISIONS
99	10/20/02	REVISIONS
100	10/25/02	REVISIONS

SCALE: 1/8" = 1'-0"
 SHEET: A3

Rosenbrook

Ex. 2



1/2" = 1'-0" (VERTICAL SCALE)
1/8" = 1'-0" (HORIZONTAL SCALE)

NO.	DATE	BY	CHKD.

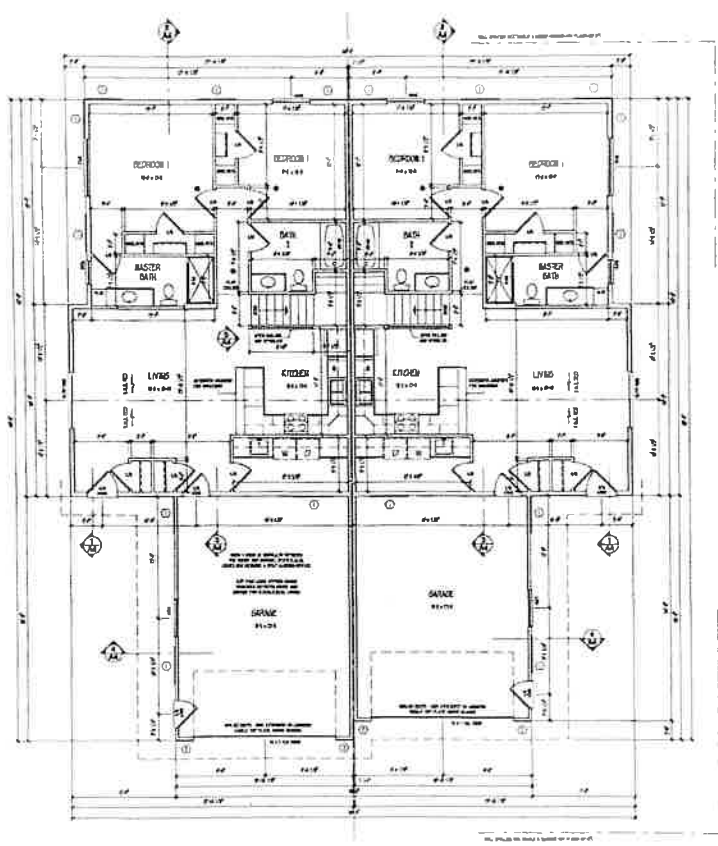
FRONT & REAR ELEVATIONS
RESIDENCE: 5068 S. 50th St.
DUPED: 04/11/11

1/2" = 1'-0" (VERTICAL SCALE)
1/8" = 1'-0" (HORIZONTAL SCALE)

5068 S. 50th St.
DUPED: 04/11/11

ALL RIGHTS RESERVED
5068
DUPED: 04/11/11

A1



- BALL BEARING FITTING**
- 1. BALL BEARING FITTING SHALL BE INSTALLED AT THE POINT OF CONTACT BETWEEN THE BALL BEARING AND THE SURFACE OF THE BALL BEARING.
 - 2. BALL BEARING FITTING SHALL BE INSTALLED AT THE POINT OF CONTACT BETWEEN THE BALL BEARING AND THE SURFACE OF THE BALL BEARING.
 - 3. BALL BEARING FITTING SHALL BE INSTALLED AT THE POINT OF CONTACT BETWEEN THE BALL BEARING AND THE SURFACE OF THE BALL BEARING.
 - 4. BALL BEARING FITTING SHALL BE INSTALLED AT THE POINT OF CONTACT BETWEEN THE BALL BEARING AND THE SURFACE OF THE BALL BEARING.
- DOOR SCHEDULE**
- 1. DOOR SCHEDULE SHALL BE AS FOLLOWS:
 - 2. DOOR SCHEDULE SHALL BE AS FOLLOWS:
 - 3. DOOR SCHEDULE SHALL BE AS FOLLOWS:
- CONCRETE FINISH SCHEDULE**
- 1. CONCRETE FINISH SCHEDULE SHALL BE AS FOLLOWS:
 - 2. CONCRETE FINISH SCHEDULE SHALL BE AS FOLLOWS:
 - 3. CONCRETE FINISH SCHEDULE SHALL BE AS FOLLOWS:

1ST FLOOR PLAN
 ARCHITECT: [FIRM NAME]
 PROJECT: [PROJECT NAME]

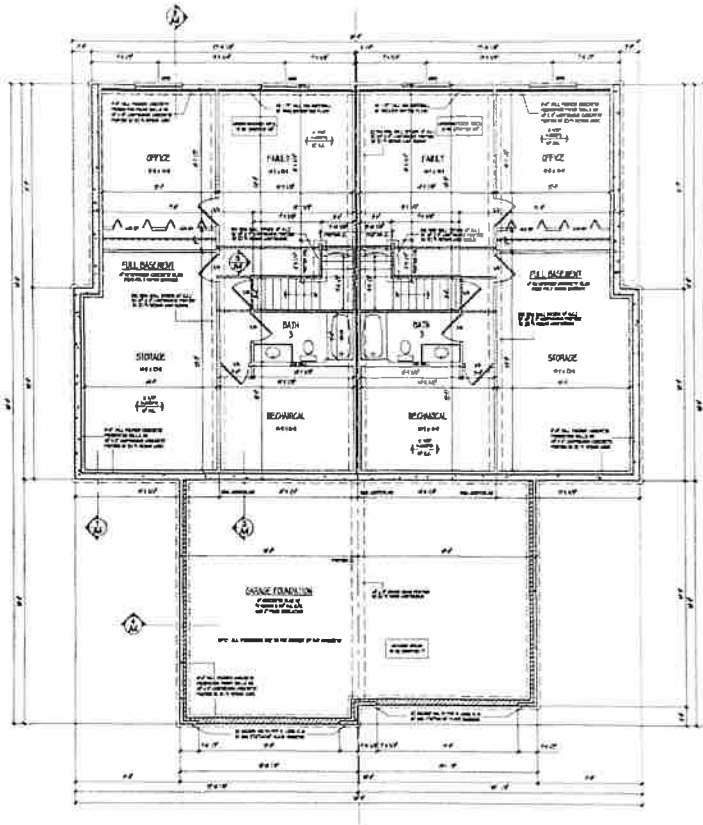
DATE	NO.	DESCRIPTION

SCALE
 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

A3



1. ALL FOUNDATION WALLS SHALL BE CONCRETE WITH REINFORCING BARS. THE WALLS SHALL BE 16" THICK AND SHALL BE SET ON A 12" THICK CONCRETE FOUNDATION. THE WALLS SHALL BE SET ON A 12" THICK CONCRETE FOUNDATION. THE WALLS SHALL BE SET ON A 12" THICK CONCRETE FOUNDATION.

2. ALL FOUNDATION WALLS SHALL BE CONCRETE WITH REINFORCING BARS. THE WALLS SHALL BE 16" THICK AND SHALL BE SET ON A 12" THICK CONCRETE FOUNDATION. THE WALLS SHALL BE SET ON A 12" THICK CONCRETE FOUNDATION.

3. ALL FOUNDATION WALLS SHALL BE CONCRETE WITH REINFORCING BARS. THE WALLS SHALL BE 16" THICK AND SHALL BE SET ON A 12" THICK CONCRETE FOUNDATION. THE WALLS SHALL BE SET ON A 12" THICK CONCRETE FOUNDATION.

4. ALL FOUNDATION WALLS SHALL BE CONCRETE WITH REINFORCING BARS. THE WALLS SHALL BE 16" THICK AND SHALL BE SET ON A 12" THICK CONCRETE FOUNDATION. THE WALLS SHALL BE SET ON A 12" THICK CONCRETE FOUNDATION.

FOUNDATION PLAN
REVISIONS
DATE: 11/11/11

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/11/11
2	ISSUED FOR PERMITS	11/11/11
3	ISSUED FOR PERMITS	11/11/11
4	ISSUED FOR PERMITS	11/11/11
5	ISSUED FOR PERMITS	11/11/11

SCALE: 1/8" = 1'-0"

DATE: 11/11/11

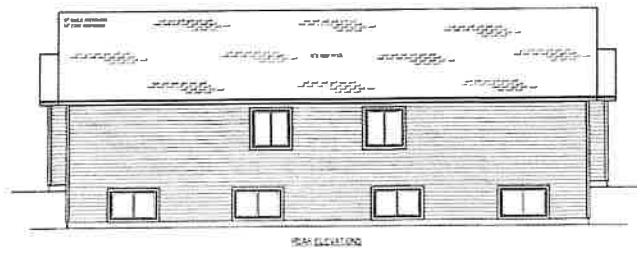
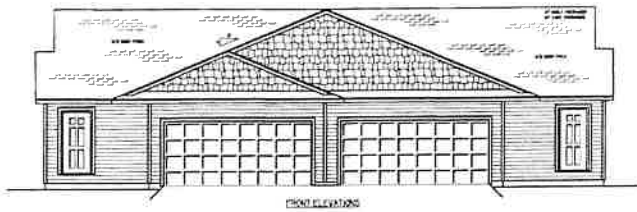
BY: [Signature]

DATE: 11/11/11

A2

Rosenbrook

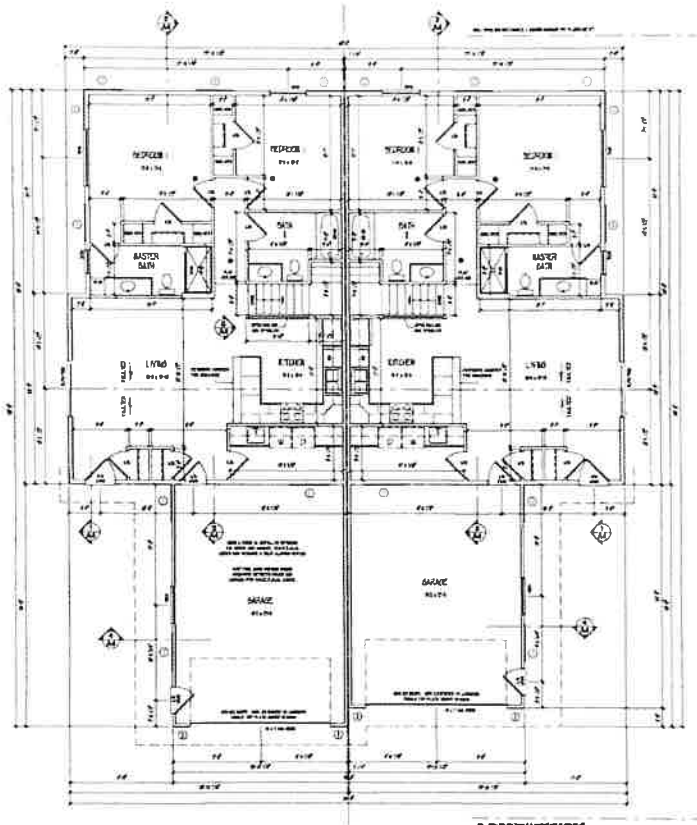
Ex. 3



FOR ALL INFORMATION, CONTACT THE ARCHITECT AT THE ADDRESS LISTED BELOW. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR ANY CHANGES TO THE DRAWINGS MADE BY ANY OTHER PARTY. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR ANY CHANGES TO THE DRAWINGS MADE BY ANY OTHER PARTY.

NO.	DATE	DESCRIPTION
1	11/17/17	ISSUED FOR PERMIT

SALES DECK
SOM
SHEET NUMBER
A1



- FOLLOWING NOTES**
- 1) SEE ALL NOTES ON DRAWINGS FOR MATERIALS AND FINISHES.
 - 2) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 3) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 4) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 5) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PLUMBING AND MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 6) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE AND SAFETY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 7) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 8) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 9) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL SMOKE AND ALARM CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 10) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ACCESSIBILITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.

1ST FLOOR PLAN

ARCHITECT: [Firm Name]

DATE: [Date]

PROJECT: [Project Name]

NO. 1000 [Firm Name]

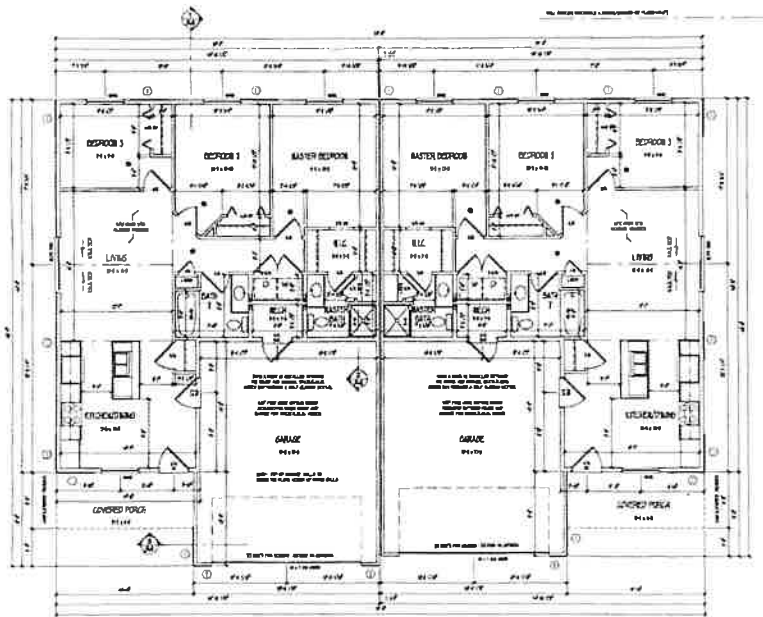
SALES OFFICE: 4800

DEPT. NUMBER: A3

Rosenbrook
Ex. 4



ELEVATIONS	
RESIDENTIAL ARCHITECTURE	
DATE: 10/20/08	
SCALE: 1/8" = 1'-0"	DATE: 10/20/08
PROJECT: ROSEN BROOK	DATE: 10/20/08
A1	



- GENERAL NOTES**
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL WALLS ARE 1/2" THICK UNLESS OTHERWISE NOTED.
 3. ALL DOORS ARE 3'0" WIDE UNLESS OTHERWISE NOTED.
 4. ALL WINDOWS ARE 6'0" WIDE UNLESS OTHERWISE NOTED.
 5. ALL FLOOR FINISHES ARE AS NOTED.
 6. ALL CEILING FINISHES ARE AS NOTED.
 7. ALL WALL FINISHES ARE AS NOTED.
 8. ALL STAIRS ARE AS NOTED.
 9. ALL ELEVATIONS ARE AS NOTED.
 10. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES.

1ST FLOOR PLAN
 RESIDENTIAL CONSTRUCTION
 DETAIL PLAN

DATE	1/15/20
SCALE	1/8" = 1'-0"
PROJECT	1000000000
CLIENT	ABC COMPANY
DESIGNER	DEF ARCHITECTS
CHECKED	GHI ARCHITECTS
DATE	1/15/20

SALES UNDER \$1000
 SHEET NUMBER
A3

Rosenbrook

Ex. 5



NOT TO SCALE
ALL DIMENSIONS ARE IN FEET AND INCHES
UNLESS OTHERWISE SPECIFIED
CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK AND THE INTERNATIONAL MECHANICAL AND PLUMBING CODE BOOK
ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE SPECIFIED
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK AND THE INTERNATIONAL MECHANICAL AND PLUMBING CODE BOOK

DATE	11/11/11
SCALE	1/8" = 1'-0"
PROJECT	ROSEN BROOK
CLIENT	MR. & MRS. J. ROSEN

FRONT ELEVATION
RESIDENTIAL CONSTRUCTION
SHEET 1 OF 2

1/8" = 1'-0"
DATE: 11/11/11
SCALE: 1/8" = 1'-0"
PROJECT: ROSEN BROOK
CLIENT: MR. & MRS. J. ROSEN



J.D. CONSTRUCTION
5008
SHEET NUMBER
D1

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1ST FLOOR SQUARE FOOTAGE = 1432

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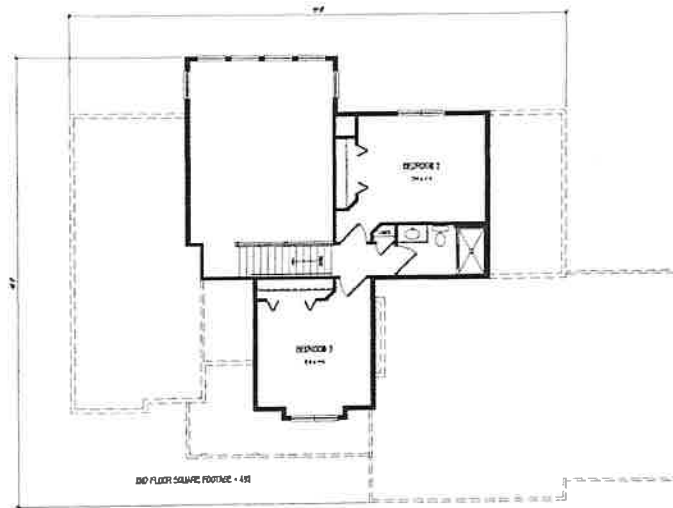
NO.	DATE	DESCRIPTION
1	11/11/11	ISSUED FOR PERMIT
2	11/11/11	ISSUED FOR PERMIT
3	11/11/11	ISSUED FOR PERMIT

1ST FLOOR PLAN
RESIDENTIAL DEVELOPMENT
SHEET 03 OF 03

DATE: 11/11/11
DRAWN BY: [Name]
CHECKED BY: [Name]



SCALE: AS SHOWN
SHEET NUMBER: 03



2ND FLOOR PLAN
 ROOMS TO BE CONSTRUCTED
 2ND FLOOR

NO.	DESCRIPTION	QTY.	UNIT
1
2

SCALE: 1/4" = 1'-0"

DATE: ...

DRAWN BY: ...

CHKD BY: ...

APP'D BY: ...

D3-1

Lynn Niggemann

From: jon beneenrentals.com <jon@beneenrentals.com>
Sent: Monday, June 12, 2023 5:53 PM
To: Lynn Niggemann
Subject: Re: East View Development

Hi Lynn. Thought I would let you know I won't be able to make the meeting tonight. Had a scheduling conflict that I couldn't get out of.

Thanks,

Jon Bennin
Beneen Rentals, LLC
715-475-9986

From: Lynn Niggemann <clerktreasurer@villageofcolfaxwi.org>
Sent: Friday, June 9, 2023 6:40 PM
To: jon beneenrentals.com <jon@beneenrentals.com>
Subject: Re: East View Development

Ok. Sounds good.

Lynn

Sent via the Samsung Galaxy S21 FE 5G, an AT&T 5G smartphone

----- Original message -----

From: "jon beneenrentals.com" <jon@beneenrentals.com>
Date: 6/9/23 5:03 PM (GMT-06:00)
To: Lynn Niggemann <clerktreasurer@villageofcolfaxwi.org>
Subject: Re: East View Development

I'd like to be a little more prepared before we answer the questions. Also, we have a few offers out on other properties so we're waiting to see what happens with those. Hopefully that's ok. If the lots get spoken for, then maybe we'll wait for the next round. Thank you!

Thanks,

Jon Bennin
Beneen Rentals, LLC
715-475-9986

From: Lynn Niggemann <clerktreasurer@villageofcolfaxwi.org>
Sent: Friday, June 9, 2023 3:35 PM

To: jon beneenrentals.com <jon@beneenrentals.com>
Subject: RE: East View Development

Sounds great. Will you be able to answer the questions I sent by 4 pm on Monday so that I have something for the Board to review while we discuss the topic?

Thank you.
Lynn

From: jon beneenrentals.com <jon@beneenrentals.com>
Sent: Friday, June 9, 2023 2:19 PM
To: Lynn Niggemann <clerktreasurer@villageofcolfaxwi.org>
Subject: Re: East View Development

Hi Lynn:

I plan on attending the meeting 7pm Monday with one other person more for information gathering. Specifically, whether the larger lots would allow a duplex. We're also interested in the single-family lots.

Thanks,

Jon Bennin
Beneen Rentals, LLC
715-475-9986

From: Lynn Niggemann <clerktreasurer@villageofcolfaxwi.org>
Sent: Friday, June 9, 2023 12:08:26 PM
To: jon beneenrentals.com <jon@beneenrentals.com>
Subject: East View Development

The Village of Colfax Board of Trustees will be meeting on Monday, June 12th, 2023 at 7 pm.

One of the agenda topics will be the East View Development and four lots that are available as of right now. There are two single-family lot and two multi-family lots. We have had a great response to the Channel 18 news clip.

Monday night's meeting will be to review each request in regards to:

- Which lot(s) are of interest to you
- What type of **timeline** is expected for construction to begin and end
- What is your expectation from the Village
- What are you offering
- Drawings of your designs/floorplan (if you have any)
- Who will be the contractor
- Do you have the financing available
- Please make reference if you are able to uphold the requests in the developers agreement
 - Deposit payment
 - Minimum value &/or your estimated value at construction completion
 - Siding materials
 - Siding materials
 - Driveway requirements
 - Permitting
 - Lawn & trees planting

- Proof of preapproval of mortgage financing
- Certificate of Occupancy no greater than 12 months of signing

Things that will need to happen once Board has made decision include:

- Land purchase application
- Developers Agreement

Things I hope to have by Monday evening include:

- Verify zoning of each lot.
- Possibility/process to change zoning/sub-diving parcel to accommodate twin home interest on the multi-family lots.

Once everyone is on the same page, land can be transferred to awarded parties and things can get started with contacting our building inspector, Fred Weber, 715-556-0066.

If you are interested in attending the meeting also on Monday night, please let me know that you plan to be there so I can set the room up accordingly. Our meetings are held at 613 Main Street, Colfax, WI 54730.

Thank you so much for your patience and response.

Lynn M. Niggemann

Administrator-Clerk-Treasurer

Village of Colfax

P.O. Box 417

613 Main Street

Colfax, WI 54730-0417

P: 715-962-3311; C: 715-308-9986; F: 715-962-2221

ClerkTreasurer@villageofcolfaxwi.org

Population 1,191 as of January 1, 2022

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ARTICLE C

RESIDENTIAL DISTRICT REQUIREMENTS

Sec. 13-1-25 R-1 NEW SINGLE FAMILY RESIDENTIAL DISTRICT – Large Lot

1. Purpose. The R-1 District is intended to provide for single-family residential land uses in newer urban areas served by public sewers. The District is also intended to protect the integrity of residential areas by prohibiting the incursion of incompatible non-residential uses, and is for the exclusive location of single-family dwellings.
2. Permitted Uses. The following uses are permitted within an R-1 District:
 - a) single-family dwellings;
 - b) accessory buildings not exceeding an area of more than 30 percent of the required rear yard; and
 - c) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.
3. Requirements. In order to be considered a conforming lot or structure within an R-1 District, a lot or structure must:
 - a) have a minimum lot size of 18,000 square feet and a minimum lot width of 80 feet;
 - b) have a front yard setback of 25 feet, a rear yard setback of 25 feet, and a side yard setback of 10 feet;
 - c) have a minimum living area of 900 square feet in the principal building;
 - d) not exceed a maximum principal building height of 35 feet; and
 - e) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet and a maximum accessory building height not to exceed 15 feet.
4. Conditional Uses. The following uses shall be considered conditional uses within an R-1 District:
 - a) churches, municipal buildings, public and parochial schools; and
 - b) public parks and playgrounds

SEC. 13-1-26 R-2 SINGLE FAMILY RESIDENTIAL DISTRICT – Medium Lot

1. Purpose. The R-2 District is intended to provide for single-family dwellings in newer urban areas on larger lots. The District is also intended to provide an area protected from traffic hazards and safe from blighting influences.
2. Permitted Uses. The following uses are permitted within an R-2 District:
 - a) single-family dwellings;
 - b) accessory buildings not exceeding an area of more than 30 percent of the required rear yard; and
 - c) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.
3. Requirements. In order to be considered a conforming lot or structure within an R-2 District, a lot or structure must:
 - a) have a minimum lot size of 7,500 square feet and a minimum lot width of 70 feet;
 - b) have a front yard setback of 30 feet, a rear yard setback of 50 feet, and a side yard setback of 10 feet;

- c) have a minimum living area of 900 square feet in the principal building;
- d) not exceed a maximum principal building height of 35 feet; and
- e) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet, and not exceed a maximum accessory building height of 15 feet.

4. Conditional Uses. The following uses shall be considered conditional uses within an R-2 District:

- a) public parks and playgrounds; and
- b) churches.

SEC. 13-1-27 R-3 EXISTING SINGLE FAMILY MIXED RESIDENTIAL DISTRICT

1. Purpose. The R-3 District is intended to provide for single-family and two-family dwellings within the built-up area of Colfax. The District is also intended to provide an area protected from traffic hazards and safe from blighting influences.

2. Permitted Uses. The following uses are permitted within an R-3 District:

- a) single-family dwellings;
- b) accessory buildings not exceeding an area of more than 30 percent of the required rear yard; and
- c) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.

3. Requirements. In order to be considered a conforming lot or structure within an R-3 District, a lot or structure must:

- a) have a minimum lot size of 6,000 square feet per family and a minimum lot width of 50 feet;
- b) have a front yard setback of 15 feet, a rear yard setback of 30 feet, and a side yard setback of 6 feet;
- c) have a minimum living area of 900 square feet in the principal building;
- d) not exceed a maximum principal building height of 35 feet; and
- e) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet, and a maximum accessory building height not to exceed 15 feet.

4. Conditional Uses. The following uses shall be considered conditional uses within an R-3 District:

- a) two-family dwellings;
- b) Bed and Breakfast services;
- c) residential storage buildings not involving the conduct of a business;
- d) churches, municipal buildings, public and parochial schools;
- e) public parks and playgrounds;
- f) day care centers;
- g) owner only operated windshield repair service; and
- h) selling of antiques, high end collectibles and consignment items.

SEC. 13-1-28 R-4 TWO FAMILY RESIDENTIAL DISTRICT

1. Purpose. The R-4 District is intended to provide for two-family dwellings served by public sewer. The District is also intended to provide an area protected from traffic hazards and safe from blighting influences.

2. Permitted Uses. The following uses are permitted within an R-4 District:

- a) two-family dwellings;

- b) accessory buildings not exceeding an area of more than 30 percent of the required rear yard; and
 - c) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.
3. Requirements. In order to be considered a conforming lot or structure within an R-4 District, a lot or structure must:
- a) have a minimum lot size of 8,000 square feet and a minimum lot width of 90 feet;
 - b) have a front yard setback of 30 feet, a rear yard setback of 25 feet, and a side yard setback of 10 feet;
 - c) have a minimum living area of 1,800 square feet in the principal building;
 - d) not exceed a maximum principal building height of 35 feet; and
 - e) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet, and not exceed a maximum accessory building height of 15 feet.
4. Conditional Uses. The following uses shall be considered conditional uses within an R-4 District:
- a) churches, public and parochial schools;
 - b) public parks and playgrounds; and
 - c) day care centers.

SEC. 13-1-29 R-5 MULTIPLE FAMILY RESIDENTIAL DISTRICT

1. Purpose. The R-5 District is intended to provide appropriate areas for multi-family land uses only in urban areas served by public sewers. The District is also intended to provide rental housing in an area protected from traffic hazards.
2. Permitted Uses. The following uses are permitted within an R-5 District:
- a) multi-family dwellings;
 - b) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.
 - c) accessory buildings not exceeding an area of more than 30 percent of the required rear yard.
3. Requirements. In order to be considered a conforming lot or structure within an R-5 District, a lot or structure must:
- a) have a minimum lot size of 2,500 square feet per family unit up to and including four (4) families, and 2,250 square feet per family thereafter and a minimum lot width of 100 feet;
 - b) have a front yard setback of 30 feet, a rear yard setback of 25 feet, and a side yard setback of 15 feet;
 - c) not exceed a maximum principal building height of 45 feet; and
 - d) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet, and not exceed a maximum accessory building height of 20 feet.
4. Conditional Uses. The following uses shall be considered conditional uses within an R-5 District:
- a) charitable institutions, rest homes or nursing homes, private non-profit clubs and lodges;
 - b) mobile home parks in accordance with mobile home requirements;
 - c) churches; and
 - d) public parks and playgrounds;

SEC. 13-1-30 R-6 NEW ZERO LOT LINE SINGLE FAMILY RESIDENTIAL DISTRICT

1. Purpose. The R-6 District is intended to provide for two single-family residential units attached to each other with zero lot line set back on one side. They are to be built in newer urban areas served by public sewers. This will permit two single-family homes to be joined to give the appearance of a two family dwelling. For that reason R-6 lots will always be approved in sets of two. The District is also intended to protect the integrity of residential areas by prohibiting the incursion of incompatible non-residential uses, and is for the exclusive location of single-family dwellings.
2. Permitted Uses. The following uses are permitted within an R-6 District:
 - a) single-family dwellings;
 - b) accessory buildings not exceeding an area of more than 30 percent of the required rear yard; and
 - c) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.
3. Requirements. In order to be considered a conforming lot or structure within an R-6 District, a lot or structure must:
 - a) have a minimum lot size of 4,000 square feet and a minimum lot width of 40 feet for each dwelling unit;
 - b) have a front yard setback of 30 feet, a rear yard setback of 25 feet, and a side yard setback of 15 feet on the side not attached to an adjoining dwelling and 0 feet on the side attached to an adjoining dwelling;
 - c) have a minimum living area of 900 square feet in the principal building;
 - d) not exceed a maximum principal building height of 35 feet; and
 - e) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet and a maximum accessory building height not to exceed 15 feet.
4. Conditional Uses. The following uses shall be considered conditional uses within an R-6 District:
 - a) churches, public and parochial schools; and
 - b) public parks and playgrounds.