

Village of Colfax
SPECIAL Board Meeting Agenda
Monday, June 19th, 2023
7:00 p.m.
Village Hall, 613 Main Street, Colfax, WI 54730

1. Call the Regular Board Meeting to Order
2. Pledge of Allegiance
3. Roll Call
4. Public Comments
5. Communications from the Village President
6. Consent Agenda - none
7. Consideration Items
 - a. Consider Planning Commission Recommendations
 - i. Re-Zone East View Development Phase 2
 - ii. Consider Award of Lots 8, 9, 10 and 11
 - iii. Minor Sub-Division - Lots 10 and 11
 - b. East View Development Phase 1
 - i. Re-Zone East View Development Lots 1 and 2
8. Committee/Department Reports – none
9. Adjourn

Any person who has a qualifying disability as defined by the American with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format must contact: Lynn M. Niggemann - Clerk-Treasurer, 613 Main Street, Colfax, WI (715) 962-3311 by 2:00 p.m. the day prior to the meeting so that any necessary arrangements can be made to accommodate each request.

It is possible that members of and possibly a quorum of members of the governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Village of Colfax

Date: June 19th, 2023
To: Village Board
From: Lynn Niggemann, Administrator-Clerk-Treasurer
Re: East View Development

Things to review and take action on:

- Re-Zoning East View Development Phase 2
 - Currently Agriculture A-1 – Re-Zone to R-6 Zero Lot Line Single Family Residential District
 - Minor Sub-Division of Lots 10 and 11 / Lots 1 & 2
 - Cost associated sub-division surveying & map preparation
 - Cedar Corp
 - Lots 10 & 11 - \$4,000 (Plat) + \$455 state and recording fees
 - Lots 1 & 2 - \$3,750 (CSM)
 - Or Both for a cost of \$6,500 + \$455 state and recording fees
 - Ayres
 - Lots 10 & 11 - \$6,000 (Plat) (checking if the state fees are included)
 - Lots 1 & 2 - \$4,000 (CSM)
 - Or Both for a cost of \$10,000 (checking if the state fees are included)
 - Consider Award of Lots 8, 9,10 and 11
 - SF 8 and 9 to GRIP Development
 - MF Lot 10 GRIP Development with a cost of \$10,000
 - MF Lot 11 Rosenbrook Construction with a cost of \$10,000
 - Re-Zoning East View Development Phase 1
 - Lots 1 & 2 from R-2 Single Family to R-6 Zero Lot Line Single Family Residential District
- 1) Are you in favor of allowing twin homes to be built on lots 10 & 11?
 - a. In favor or not in favor to approve moving forward with re-zoning process from A-1 to R-6.
 - b. If you are in favor of zoning, then you would also make a motion to continue moving forward with the subdivision request for lots 10 & 11.
 - 2) Lots 1 & 2 – are you in favor of allowing twin homes to be built on lots 1 & 2?
 - a. In favor or not in favor to approve re-zoning from R-2 to R-6.
 - b. The \$4,000 cost for the CSM is approved? Which vendor?
 - i. In favor of the sub-division to allow the twin homes?
 - 3) Depending on how the final land division occurs – the Recommendation of how the lots would be offered is below. They have accepted the cost associated with the lots based on the recommendation so far. A motion to transfer the land with any costs associated should happen with reference to developer's agreement being approved - if the Board is interested in moving forward with current recommendation.
 - a. GRIP Development - SF 8 and 9 at no cost
 - b. GRIP Development MF Lot 10 with a cost of \$10,000
 - c. Rosenbrook Construction MF Lot 11 with a cost of \$10,000
 - 4) Ask contractors if there are any contract modifications? Timeline – 12 months acceptable?
 - 5) If Board is good with any modifications – Authorize Niggemann & Village President to work on getting modified Developer's Agreements signed.

Discuss any items that may have been missed.

ARTICLE C

Zoning

RESIDENTIAL DISTRICT REQUIREMENTS

Sec. 13-1-25 R-1 NEW SINGLE FAMILY RESIDENTIAL DISTRICT – Large Lot

1. Purpose. The R-1 District is intended to provide for single-family residential land uses in newer urban areas served by public sewers. The District is also intended to protect the integrity of residential areas by prohibiting the incursion of incompatible non-residential uses, and is for the exclusive location of single-family dwellings.
2. Permitted Uses. The following uses are permitted within an R-1 District:
 - a) single-family dwellings;
 - b) accessory buildings not exceeding an area of more than 30 percent of the required rear yard; and
 - c) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.
3. Requirements. In order to be considered a conforming lot or structure within an R-1 District, a lot or structure must:
 - a) have a minimum lot size of 18,000 square feet and a minimum lot width of 80 feet;
 - b) have a front yard setback of 25 feet, a rear yard setback of 25 feet, and a side yard setback of 10 feet;
 - c) have a minimum living area of 900 square feet in the principal building;
 - d) not exceed a maximum principal building height of 35 feet; and
 - e) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet and a maximum accessory building height not to exceed 15 feet.
4. Conditional Uses. The following uses shall be considered conditional uses within an R-1 District:
 - a) churches, municipal buildings, public and parochial schools; and
 - b) public parks and playgrounds

SEC. 13-1-26 R-2 SINGLE FAMILY RESIDENTIAL DISTRICT – Medium Lot

1. Purpose. The R-2 District is intended to provide for single-family dwellings in newer urban areas on larger lots. The District is also intended to provide an area protected from traffic hazards and safe from blighting influences.
2. Permitted Uses. The following uses are permitted within an R-2 District:
 - a) single-family dwellings;
 - b) accessory buildings not exceeding an area of more than 30 percent of the required rear yard; and
 - c) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.
3. Requirements. In order to be considered a conforming lot or structure within an R-2 District, a lot or structure must:
 - a) have a minimum lot size of 7,500 square feet and a minimum lot width of 70 feet;
 - b) have a front yard setback of 30 feet, a rear yard setback of 50 feet, and a side yard setback of 10 feet;

- c) have a minimum living area of 900 square feet in the principal building;
- d) not exceed a maximum principal building height of 35 feet; and
- e) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet, and not exceed a maximum accessory building height of 15 feet.

4. Conditional Uses. The following uses shall be considered conditional uses within an R-2 District:

- a) public parks and playgrounds; and
- b) churches.

SEC. 13-1-27 R-3 EXISTING SINGLE FAMILY MIXED RESIDENTIAL DISTRICT

1. Purpose. The R-3 District is intended to provide for single-family and two-family dwellings within the built-up area of Colfax. The District is also intended to provide an area protected from traffic hazards and safe from blighting influences.

2. Permitted Uses. The following uses are permitted within an R-3 District:

- a) single-family dwellings;
- b) accessory buildings not exceeding an area of more than 30 percent of the required rear yard; and
- c) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.

3. Requirements. In order to be considered a conforming lot or structure within an R-3 District, a lot or structure must:

- a) have a minimum lot size of 6,000 square feet per family and a minimum lot width of 50 feet;
- b) have a front yard setback of 15 feet, a rear yard setback of 30 feet, and a side yard setback of 6 feet;
- c) have a minimum living area of 900 square feet in the principal building;
- d) not exceed a maximum principal building height of 35 feet; and
- e) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet, and a maximum accessory building height not to exceed 15 feet.

4. Conditional Uses. The following uses shall be considered conditional uses within an R-3 District:

- a) two-family dwellings;
- b) Bed and Breakfast services;
- c) residential storage buildings not involving the conduct of a business;
- d) churches, municipal buildings, public and parochial schools;
- e) public parks and playgrounds;
- f) day care centers;
- g) owner only operated windshield repair service; and
- h) selling of antiques, high end collectibles and consignment items.

SEC. 13-1-28 R-4 TWO FAMILY RESIDENTIAL DISTRICT

- Duplex

1. Purpose. The R-4 District is intended to provide for two-family dwellings served by public sewer. The District is also intended to provide an area protected from traffic hazards and safe from blighting influences.

2. Permitted Uses. The following uses are permitted within an R-4 District:

- a) two-family dwellings;

- b) accessory buildings not exceeding an area of more than 30 percent of the required rear yard; and
 - c) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.
3. Requirements. In order to be considered a conforming lot or structure within an R-4 District, a lot or structure must:
- a) have a minimum lot size of 8,000 square feet and a minimum lot width of 90 feet;
 - b) have a front yard setback of 30 feet, a rear yard setback of 25 feet, and a side yard setback of 10 feet;
 - c) have a minimum living area of 1,800 square feet in the principal building;
 - d) not exceed a maximum principal building height of 35 feet; and
 - e) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet, and not exceed a maximum accessory building height of 15 feet.
4. Conditional Uses. The following uses shall be considered conditional uses within an R-4 District:
- a) churches, public and parochial schools;
 - b) public parks and playgrounds; and
 - c) day care centers.

SEC. 13-1-29 R-5 MULTIPLE FAMILY RESIDENTIAL DISTRICT

1. Purpose. The R-5 District is intended to provide appropriate areas for multi-family land uses only in urban areas served by public sewers. The District is also intended to provide rental housing in an area protected from traffic hazards.
2. Permitted Uses. The following uses are permitted within an R-5 District:
- a) multi-family dwellings;
 - b) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.
 - c) accessory buildings not exceeding an area of more than 30 percent of the required rear yard.
3. Requirements. In order to be considered a conforming lot or structure within an R-5 District, a lot or structure must:
- a) have a minimum lot size of 2,500 square feet per family unit up to and including four (4) families, and 2,250 square feet per family thereafter and a minimum lot width of 100 feet;
 - b) have a front yard setback of 30 feet, a rear yard setback of 25 feet, and a side yard setback of 15 feet;
 - c) not exceed a maximum principal building height of 45 feet; and
 - d) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet, and not exceed a maximum accessory building height of 20 feet.
4. Conditional Uses. The following uses shall be considered conditional uses within an R-5 District:
- a) charitable institutions, rest homes or nursing homes, private non-profit clubs and lodges;
 - b) mobile home parks in accordance with mobile home requirements;
 - c) churches; and
 - d) public parks and playgrounds;

Twin Homes

SEC. 13-1-30 R-6 NEW ZERO LOT LINE SINGLE FAMILY RESIDENTIAL DISTRICT

1. Purpose. The R-6 District is intended to provide for two single-family residential units attached to each other with zero lot line set back on one side. They are to be built in newer urban areas served by public sewers. This will permit two single-family homes to be joined to give the appearance of a two family dwelling. For that reason R-6 lots will always be approved in sets of two. The District is also intended to protect the integrity of residential areas by prohibiting the incursion of incompatible non-residential uses, and is for the exclusive location of single-family dwellings.
2. Permitted Uses. The following uses are permitted within an R-6 District:
 - a) single-family dwellings;
 - b) accessory buildings not exceeding an area of more than 30 percent of the required rear yard; and
 - c) uses customarily incidental to any of the above uses when located on the same lot and not involving the conduct of a business.
3. Requirements. In order to be considered a conforming lot or structure within an R-6 District, a lot or structure must:
 - a) have a minimum lot size of 4,000 square feet and a minimum lot width of 40 feet for each dwelling unit;
 - b) have a front yard setback of 30 feet, a rear yard setback of 25 feet, and a side yard setback of 15 feet on the side not attached to an adjoining dwelling and 0 feet on the side attached to an adjoining dwelling;
 - c) have a minimum living area of 900 square feet in the principal building;
 - d) not exceed a maximum principal building height of 35 feet; and
 - e) have an accessory building side yard setback of 3 feet, rear yard setback of 3 feet and a maximum accessory building height not to exceed 15 feet.
4. Conditional Uses. The following uses shall be considered conditional uses within an R-6 District:
 - a) churches, public and parochial schools; and
 - b) public parks and playgrounds.

PHASE 2 RECOMMENDATION - OPTION 1

EAST VIEW 1ST ADDITION

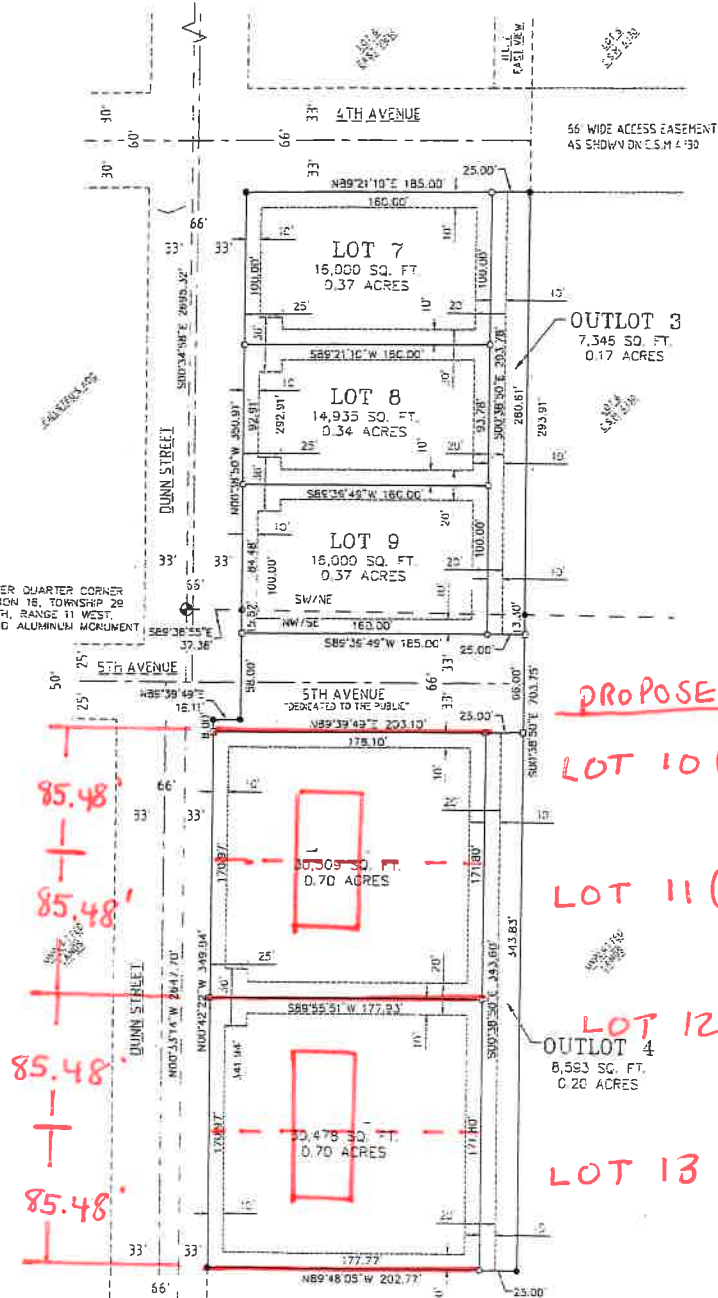
BEING ALL OF LOT 4 OF CERTIFIED SURVEY MAP NO. 4129, VOLUME 20, PAGE 69, DOCUMENT NO. 605970, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST, VILLAGE OF COLFAX, DUNN COUNTY, WISCONSIN

CARR CREEK ESTATES
2ND ADDITION

DOCUMENT NUMBER 657118
 REC'D DECEMBER 9, 2021 AT 1:09 PM
 RECORDED: VOLUME 9, PLATS PAGE 42
Heather M. Kuhn
 HEATHER M. KUHN, REC OF DEEDS DUNN CO WI

NORTH QUARTER CORNER
SECTION 15, TOWNSHIP 29
NORTH, RANGE 11 WEST,
FOUND RAILROAD SPIKE

CENTER QUARTER CORNER
SECTION 18, TOWNSHIP 29
NORTH, RANGE 11 WEST,
FOUND ALUMINUM MONUMENT



PROPOSED

LOT 10 (R-6)

LOT 11 (R-6)

LOT 12 (R-6)

LOT 13 (R-6)

85.48'
85.48'
85.48'
85.48'

UTILITY EASEMENT NOTE

NO POLE OR BURIED CABLES TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE, OR OBSTRUCT VISION ALONG ANY LOT LINE OR STREET LINE. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF SECTION 326.32 OF WISCONSIN STATUTES. UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE/PUBLIC UTILITIES HAVING A RIGHT TO SERVE THE AREA.

SURVEYOR'S CERTIFICATE

I, DUSTIN J. LABLONDE, WISCONSIN PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE PLAT OF EAST VIEW 1ST ADDITION, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST, VILLAGE OF COLFAX, DUNN COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS:

BEING ALL OF LOT 4 OF CERTIFIED SURVEY MAP NO. 4129, VOLUME 20, PAGE 69, DOCUMENT NO. 605970.

SAID PARCEL CONTAINS 3.13 ACRES OR 135,222 SQUARE FEET MORE OR LESS, AND IS SUBJECT TO AND TOGETHER WITH ALL SHOWN EASEMENTS, AND ALL OTHER EASEMENTS, RESTRICTIONS, RESERVATIONS, AND CONVEYANCES OF RECORD.

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND PLAT AT THE DIRECTION OF THE VILLAGE OF COLFAX, 513 MAIN STREET, P.O. BOX 417, COLFAX, WISCONSIN 54730, THAT SUCH PLAT IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF MADE, THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 235 OF THE WISCONSIN STATE STATUTES, CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE, THE SUBDIVISION REGULATIONS OF THE VILLAGE OF COLFAX AND THE SUBDIVISION REGULATIONS OF DUNN COUNTY, IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS 30TH DAY OF SEPTEMBER, 2021

DJL
 DUSTIN J. LABLONDE PLS #5096
 FIELDWORK: 9/30/2021
 DRAFTED: 9/30/2021
 REVISED: 11/03/2021



CERTIFICATE OF VILLAGE TREASURER

STATE OF WISCONSIN)
 COUNTY OF Dunn) SS

I, LYNN NIGGEMANN, BEING DULY ELECTED, QUALIFIED, AND ACTING VILLAGE TREASURER FOR THE VILLAGE OF COLFAX, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS 31st DAY OF December, 2021, ON ANY OF THE LAND INCLUDED IN THE PLAT OF EAST VIEW 1ST ADDITION.

DATE: 12/8/2021 *Lynn Niggemann*
 LYNN NIGGEMANN, VILLAGE OF COLFAX TREASURER

CERTIFICATE OF COUNTY TREASURER

STATE OF WISCONSIN)
 COUNTY OF Dunn) SS

I, SIFIA JEYNE, BEING DULY ELECTED, QUALIFIED, AND ACTING COUNTY TREASURER, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS 9th DAY OF December, 2021, ON ANY OF THE LAND INCLUDED IN THE PLAT OF EAST VIEW 1ST ADDITION.

DATE: 12-9-2021 *Sifia Jeyne*
 SIFIA JEYNE, DUNN COUNTY TREASURER

SOUTH QUARTER CORNER
SECTION 15, TOWNSHIP 29
NORTH, RANGE 11 WEST,
FOUND ALUMINUM MONUMENT

OPTION 2

EAST VIEW 1ST ADDITION

BEING ALL OF LOT 4 OF CERTIFIED SURVEY MAP NO. 4129, VOLUME 20, PAGE 69, DOCUMENT NO. 605970, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST, VILLAGE OF COLFAX, DUNN COUNTY, WISCONSIN

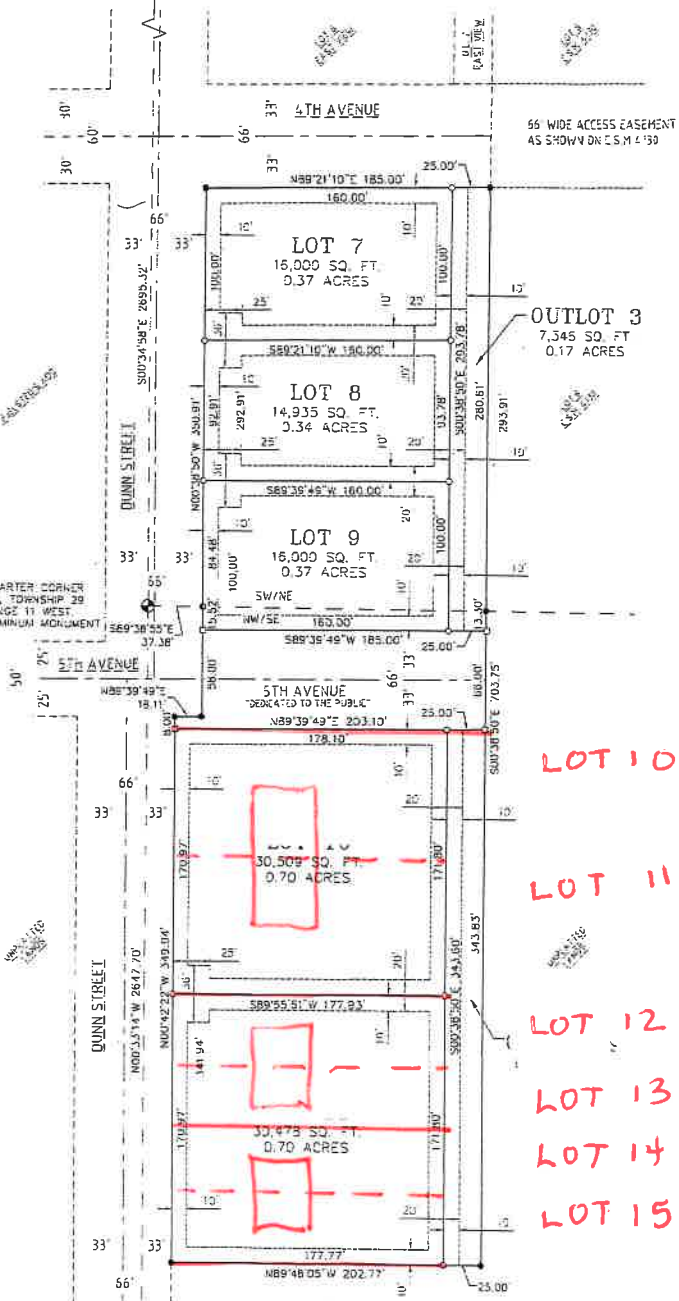
CARR CREEK ESTATES
2ND ADDITION

DOCUMENT NUMBER 657118
 REC'D DECEMBER 9, 2021 AT 1:09 PM
 RECORDED: VOLUME 9 PLATS PAGE 42
Heather M. Kuhn
 HEATHER M. KUHN, REG. OF DEEDS DUNN CO WI

NORTH QUARTER CORNER
SECTION 16, TOWNSHIP 29
NORTH, RANGE 11 WEST,
FOUND RAILROAD SPIKE

CENTER QUARTER CORNER
SECTION 16, TOWNSHIP 29
NORTH, RANGE 11 WEST,
FOUND ALUMINUM MONUMENT

SOUTH QUARTER CORNER
SECTION 16, TOWNSHIP 29
NORTH, RANGE 11 WEST,
FOUND ALUMINUM MONUMENT



LOT 10
 LOT 11
 LOT 12
 LOT 13
 LOT 14
 LOT 15

UTILITY EASEMENT NOTE

NO POLE OR BURIED CABLES TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE, OR OBSTRUCT VISION ALONG ANY LOT LINE OR STREET LINE. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF SECTION 326.32 OF WISCONSIN STATUTES. UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE/PUBLIC UTILITIES HAVING A RIGHT TO SERVE THE AREA.

SURVEYOR'S CERTIFICATE

I, DUSTIN J. LABLONDE, WISCONSIN PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE PLAT OF EAST VIEW 1ST ADDITION, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST, VILLAGE OF COLFAX, DUNN COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS:

BEING ALL OF LOT 4 OF CERTIFIED SURVEY MAP NO. 4129, VOLUME 20, PAGE 69, DOCUMENT NO. 605970.

SAID PARCEL CONTAINS 3.13 ACRES OR 135,222 SQUARE FEET MORE OR LESS, AND IS SUBJECT TO AND TOGETHER WITH ALL SHOWN EASEMENTS, AND ALL OTHER EASEMENTS, RESTRICTIONS, RESERVATIONS, AND CONVEYANCES OF RECORD.

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND PLAT AT THE DIRECTION OF THE VILLAGE OF COLFAX, 813 MAIN STREET, P.O. BOX 417, COLFAX, WISCONSIN 54730; THAT SUCH PLAT IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF MADE, THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 235 OF THE WISCONSIN STATE STATUTES, CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE, THE SUBDIVISION REGULATIONS OF THE VILLAGE OF COLFAX AND THE SUBDIVISION REGULATIONS OF DUNN COUNTY, IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS 30TH DAY OF SEPTEMBER, 2021

DJL
 DUSTIN J. LABLONDE P.L.S. #3096
 FIELDWORK: 9/30/2021
 DRAFTED: 9/30/2021
 REVISED: 11/03/2021



CERTIFICATE OF VILLAGE TREASURER

STATE OF WISCONSIN)
 COUNTY OF Dunn) SS

I, LYNN NIGGEMANN, BEING DULY ELECTED, QUALIFIED, AND ACTING VILLAGE TREASURER FOR THE VILLAGE OF COLFAX, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS 31st DAY OF December, 2021, ON ANY OF THE LAND INCLUDED IN THE PLAT OF EAST VIEW 1ST ADDITION.

DATE: 12/8/2021 Lynn Niggemann
 LYNN NIGGEMANN, VILLAGE OF COLFAX TREASURER

CERTIFICATE OF COUNTY TREASURER

STATE OF WISCONSIN)
 COUNTY OF Dunn) SS

I, SIFIA JEVNE, BEING DULY ELECTED, QUALIFIED, AND ACTING COUNTY TREASURER, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS 9th DAY OF December, 2021, ON ANY OF THE LAND INCLUDED IN THE PLAT OF EAST VIEW 1ST ADDITION.

DATE: 12-9-2021 Sifia Jevne
 SIFIA JEVNE, DUNN COUNTY TREASURER

OPTION 3

EAST VIEW 1ST ADDITION

BEING ALL OF LOT 4 OF CERTIFIED SURVEY MAP NO. 4129, VOLUME 20, PAGE 69, DOCUMENT NO. 605970, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST, VILLAGE OF COLFAX, DUNN COUNTY, WISCONSIN

CARR CREEK ESTATES
2ND ADDITION

DOCUMENT NUMBER 657118
REC'D DECEMBER 9, 2021 AT 1:09 PM
RECORDED: VOLUME 9 PLATS PAGE 42
Heather M. Kuhn
HEATHER M. KUHN, REG OF DEEDS DUNN CO WI

UTILITY EASEMENT NOTE

NO POLE OR BURIED CABLES TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE, OR OBSTRUCT VISION ALONG ANY LOT LINE OR STREET LINE. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF SECTION 326.32 OF WISCONSIN STATUTES. UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE/PUBLIC UTILITIES HAVING A RIGHT TO SERVE THE AREA.

SURVEYOR'S CERTIFICATE

I, DUSTIN J. LABLONDE, WISCONSIN PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE PLAT OF EAST VIEW 1ST ADDITION, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST, VILLAGE OF COLFAX, DUNN COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS:

BEING ALL OF LOT 4 OF CERTIFIED SURVEY MAP NO. 4129, VOLUME 20, PAGE 69, DOCUMENT NO. 605970.

SAID PARCEL CONTAINS 3.13 ACRES OR 135,222 SQUARE FEET MORE OR LESS, AND IS SUBJECT TO AND TOGETHER WITH ALL SHOWN EASEMENTS, AND ALL OTHER EASEMENTS, RESTRICTIONS, RESERVATIONS, AND CONVEYANCES OF RECORD.

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND PLAT AT THE DIRECTION OF THE VILLAGE OF COLFAX, 813 MAIN STREET, P.O. BOX 417, COLFAX, WISCONSIN 54730, THAT SUCH PLAT IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF MADE. THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATE STATUTES, CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE, THE SUBDIVISION REGULATIONS OF THE VILLAGE OF COLFAX AND THE SUBDIVISION REGULATIONS OF DUNN COUNTY, IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS 30TH DAY OF SEPTEMBER, 2021

D.L.L.B.
DUSTIN J. LABLONDE P.L.S. #3095
FIELDWORK: 9/30/2021
DRAFTED: 9/30/2021
REVISED: 11/03/2021



CERTIFICATE OF VILLAGE TREASURER

STATE OF WISCONSIN)
COUNTY OF Dunn SS

I, LYNN NIGGEMANN, BEING DULY ELECTED, QUALIFIED, AND ACTING VILLAGE TREASURER FOR THE VILLAGE OF COLFAX, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS 31st DAY OF December, 2021, ON ANY OF THE LAND INCLUDED IN THE PLAT OF EAST VIEW 1ST ADDITION.

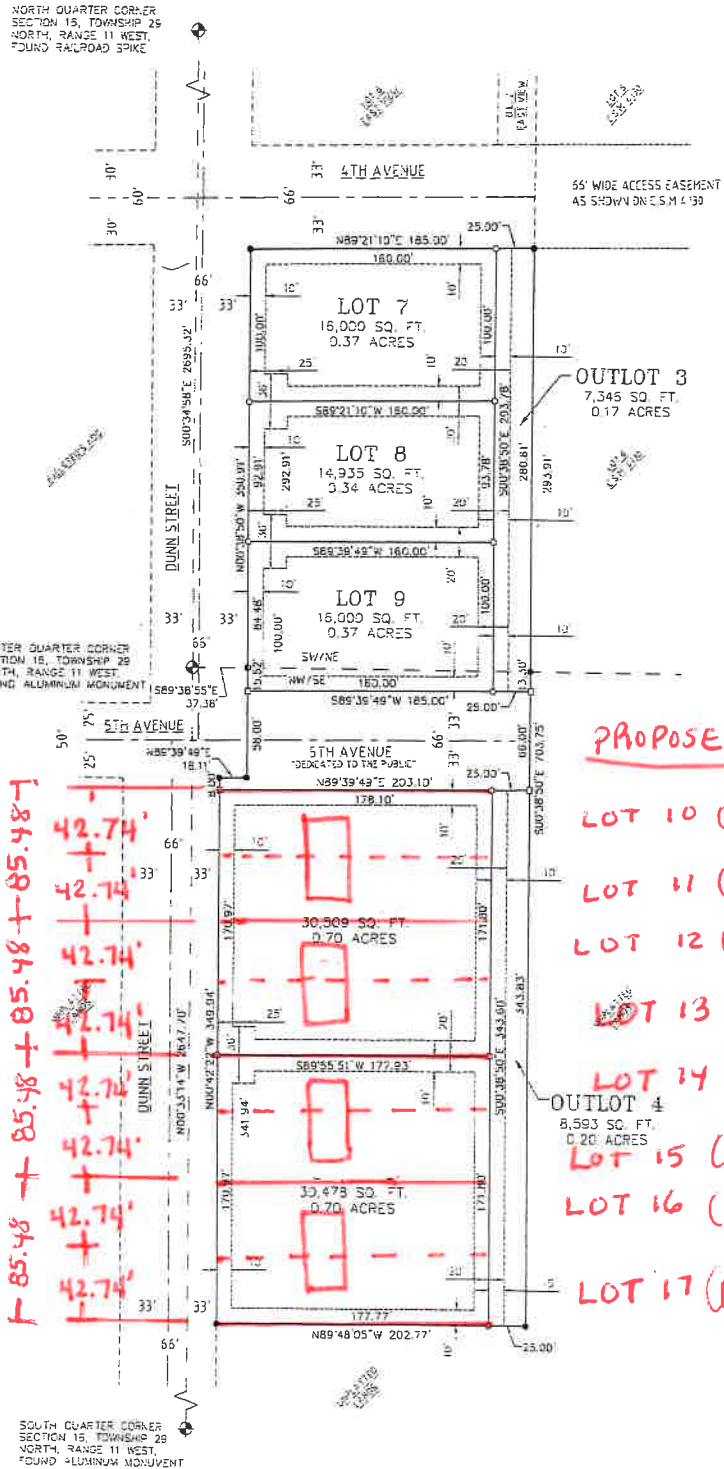
DATE: 12/8/2021 Lynn Niggemann
LYNN NIGGEMANN, VILLAGE OF COLFAX TREASURER

CERTIFICATE OF COUNTY TREASURER

STATE OF WISCONSIN)
COUNTY OF Dunn SS

I, SIFIA JEVNE, BEING DULY ELECTED, QUALIFIED, AND ACTING COUNTY TREASURER, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS 9th DAY OF December, 2021, ON ANY OF THE LAND INCLUDED IN THE PLAT OF EAST VIEW 1ST ADDITION.

DATE: 12-9-2021 S. Jevne
SIFIA JEVNE, DUNN COUNTY TREASURER



Document Number 608557
REC'D MAY 11, 2015 AT 4:06 PM
RECORDED: VOLUME 9 PLATS PAGE 27
Heather M. Kuhn
HEATHER M. KUHN REG. OF DEEDS DUNN CO WI

EAST VIEW

LOTS 1, 2 AND 3, CERTIFIED SURVEY MAP NO. 4129
LOCATED IN PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER
SECTION 16, TOWNSHIP 29 NORTH, RANGE 11 WEST,
VILLAGE OF COLFAX, DUNN COUNTY, WISCONSIN

LEGEND

SURVYOR'S CERTIFICATE

Ronald D. Johnson



CERTIFICATE OF VILLAGE TREASURER

4th May
5-4-2015

Lynn M. Niggemann

CERTIFICATE OF COUNTY TRESURER

6th May
5/6/2015

Megan Malmstadt

CORPORATE AMALGAM CERTIFICATE OF DEDICATION

4th May

Lynn M. Niggemann

Lynn M. Niggemann

4th May

Shirley Riemer
8-27-2018



VILLAGE BOARD RESOLUTION

5-4-2015

Lynn M. Niggemann

Lynn M. Niggemann

There are no objections to this plat with respect to
Sec. 250.15, 250.16, 250.20, 250.21 and 250.22
Wis. Stat. as provided by s. 250.12 Wis. Stat.
Certified *[Signature]* 5/11/2015
[Signature]
Registrar of Administration

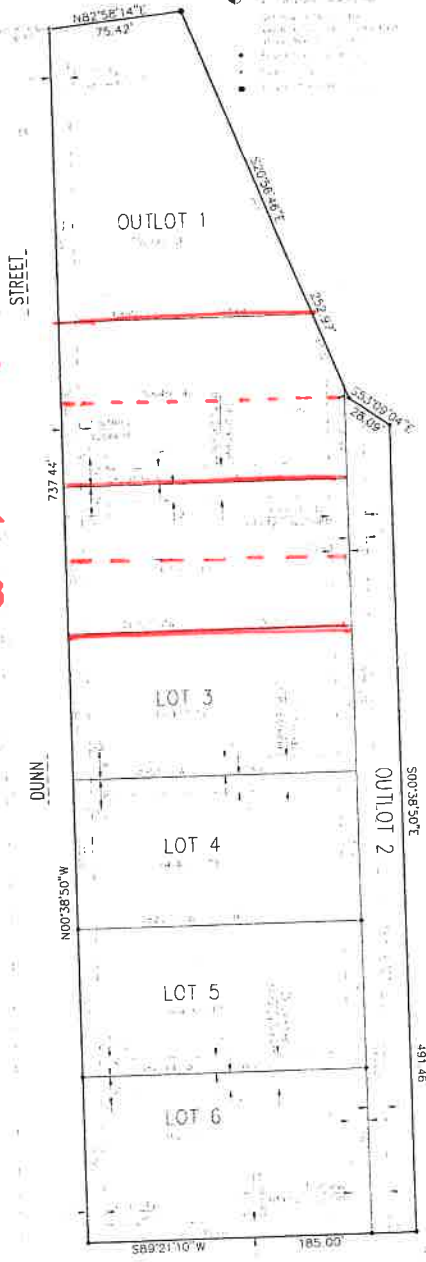
PROPOSED
LOT 1A

LOT 1B

LOT 2A

LOT 2B

3rd
AVENUE



4th
AVENUE

4th
AVENUE



SCALE 1" = 40'

Lynn Niggemann

From: Jason Griepentrog <jason@gripdevelopment.com>
Sent: Friday, June 9, 2023 5:01 PM
To: Lynn Niggemann
Cc: Sonny Orion Builders Framing
Subject: Re: East View Development Village of Colfax
Attachments: Bi-Level Planset.pdf; Ranch- Spec- Final set 8-13 (1).pdf; Twinhome Plan.pdf

Good Day Lynn:

Here are the responses as requested. Sonny with our group will be in attendance to answer any questions you may have.

Monday night's meeting will be to review each request in regards to:

- Which lot(s) are of interest to you - **We would love the opportunity to build and provide a tax basis to the Village on the 2 single and 2 multi-family lots.**
- What type of **timeline** is expected for construction to begin and end - **We anticipate applying for building permits after the lot allocation awards and beginning construction in August/September timeframe.**
- What is your expectation from the Village - **Responsiveness and willingness to work with Developers and break down the barriers that we sometimes face in other communities**
- What are you offering - **Creating affordable housing stock with no compromise to quality or aesthetics**
- Drawings of your designs/floorplan (if you have any) - **Final plans are forthcoming. Preliminary plans from other build projects are attached. We would be looking to build a variety of homes of which we'd like to showcase a bi-level and ranch with a finished basement option. These will compliment the surrounding new homes that have been built or are in the process of being built. With respect to the bi-level we are looking to add a 3rd garage stall as this is typically what is in demand. Twinhome plans we really hope to hit upon a much needed price point and would likely lean towards doing something slab-on-grade similar to the attached. This has been a very popular floorplan in other markets that we have built and believe we can sell these for approximately \$250-265k per unit. Based on looking at the grades of the lots we may need to do a split-level type twin design with finishing living on all levels. This will be determined once grades have been established.**
- Who will be the contractor - **Self performing by acting in the capacity as the general contractor**
- Do you have the financing available - **Cash with no bank financing requirements**
- Please make reference if you are able to uphold the requests in the developers agreement
 - Deposit payment - **Yes**
 - Minimum value &/or your estimated value at construction completion - **Single-family homes we expect a bare minimum valuation of \$300,000 per lot. On the twinhome units (per side) we fully expect a minimum valuation of \$225,000.**
 - Siding materials - **Vinyl lap and board/batten with LP trim accents**
 - Driveway requirements - **Either concrete/blacktop**
 - Permitting - **Yes property applications will be completed and permitted prior to construction commencement**
 - Lawn & trees planting - **A professional landscape contractor will be engaged to design and install all soft and hardscape features. Irrigation systems will also be installed to ensure lawn quality.**
 - Proof of preapproval of mortgage financing - **Yes proof of funds will be provided if necessary**
 - Certificate of Occupancy no greater than 12 months of signing - **End goal would be to have all units completed and ready for occupancy by the end of 2023.**

In closing, GRIP Development and our team would love the opportunity to help support and achieve the Village of Colfax housing goals and initiatives.

Sincerely,

Jason



Jason Griepentrog

Owner/Developer

715.514.1432 (office)

715.225.1923 (cell)

2620 Fairway Dr.

Altoona, Wi 54720

jason@gripdevelopment.com

www.GripCompanies.com

On Fri, Jun 9, 2023 at 12:08 PM Lynn Niggemann <clerktreasurer@villageofcolfaxwi.org> wrote:

The Village of Colfax Board of Trustees will be meeting on Monday, June 12th, 2023 at 7 pm.

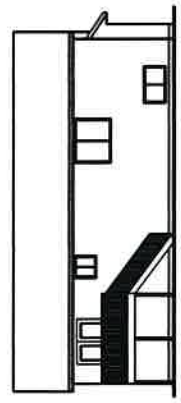
One of the agenda topics will be the East View Development and four lots that are available as of right now. There are two single-family lot and two multi-family lots. We have had a great response to the Channel 18 news clip.

Monday night's meeting will be to review each request in regards to:

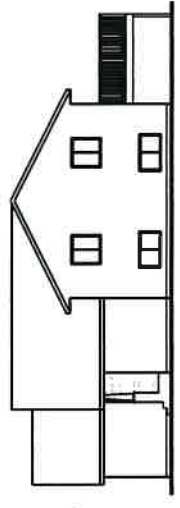
- Which lot(s) are of interest to you
- What type of **timeline** is expected for construction to begin and end
- What is your expectation from the Village
- What are you offering
- Drawings of your designs/floorplan (if you have any)
- Who will be the contractor
- Do you have the financing available
- Please make reference if you are able to uphold the requests in the developers agreement
 - Deposit payment
 - Minimum value &/or your estimated value at construction completion
 - Siding materials
 - Siding materials
 - Driveway requirements
 - Permitting
 - Lawn & trees planting
 - Proof of preapproval of mortgage financing
 - Certificate of Occupancy no greater than 12 months of signing

GRIP Bi-level
G1 R1

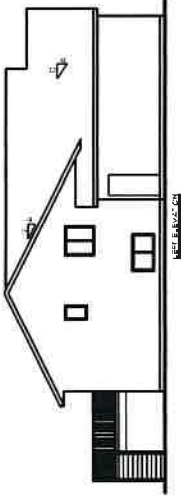
SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER



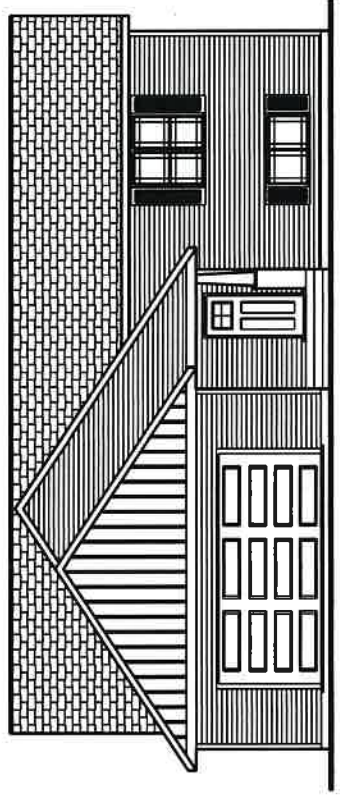
SIDE ELEVATION



SIDE ELEVATION



FRONT ELEVATION



FRONT ELEVATION
SCALE 1/4"=1'-0"

IMPORTANT
The client shall retain the responsibility for the accuracy of the information provided. The client shall retain the responsibility for the accuracy of the information provided. The client shall retain the responsibility for the accuracy of the information provided.

Builder:
Phone #:
Sales Rep: **Neil Gawinski**
Design By: **Rendan Dobbs**

Project # **18-045**
Start Date **04-13-18**
Revision **00-01-03**

ChoicePoint
Lot 1
Eau Claire, WI



PAGE: **A1**

Gal P4

IMPORTANT
This drawing is the property of First Builders, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of First Builders, Inc. All rights reserved.

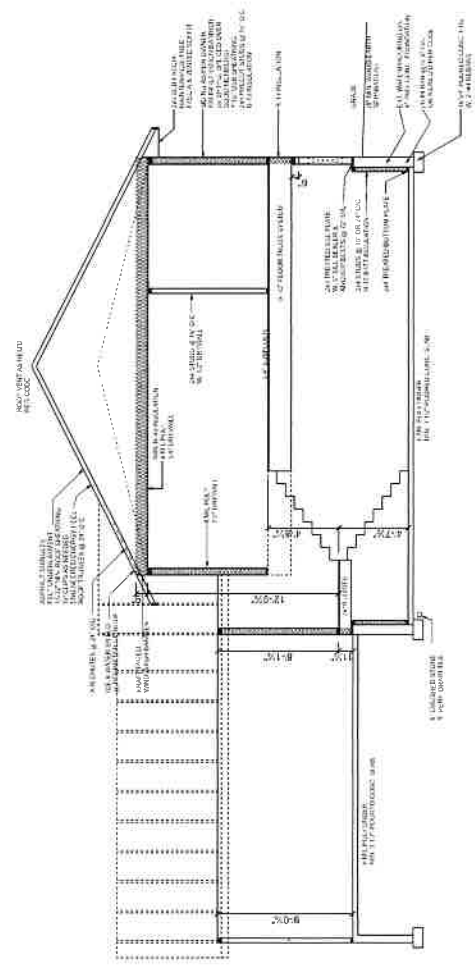
Builder:
Phone #:
Design Rep: Neil Gawinski
Sales Rep: Brendan Dobbs

Project # 18-045
Start Date: 04-15-18
Revised: 03-09-20

ChoicePoint
Lot 1
Eau Claire, WI



PAGE: D1



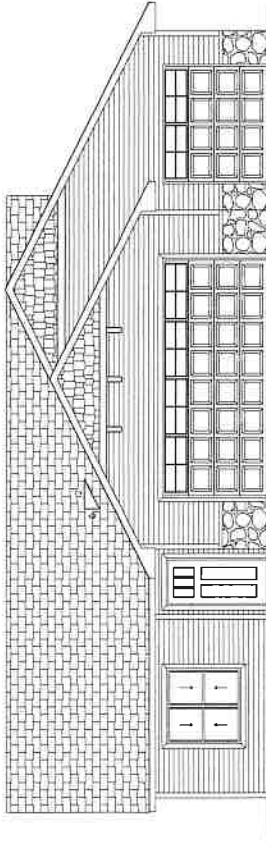
GENERIC BI-LEVEL SECTION

SCALE: 1/4" = 1'-0"

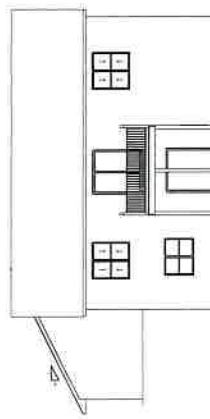
GZ
pg 1

GRIP
Ranch

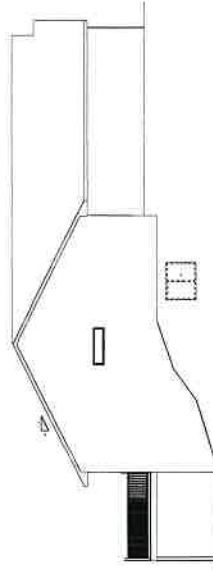
SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER



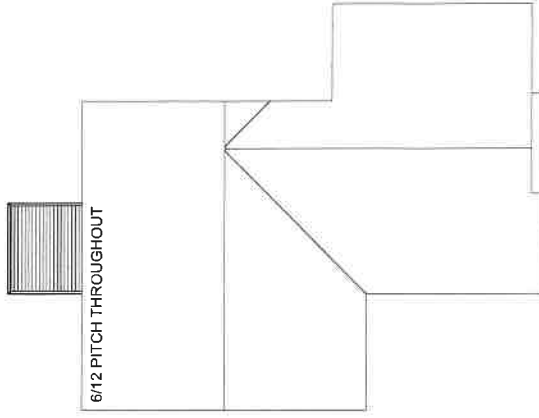
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



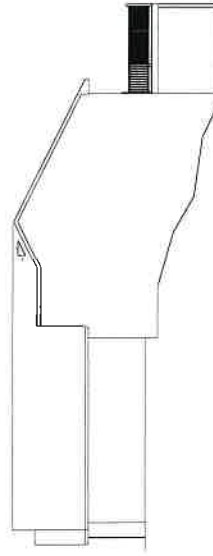
REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

IMPORTANT
This drawing and any other drawings prepared by the architect are the property of the architect and shall remain the property of the architect. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect assumes no responsibility for errors or omissions in this drawing. The architect's liability is limited to the design and construction of the building. The architect does not warrant the accuracy or completeness of the information provided in this drawing. The architect's design is based on the information provided by the client. The architect is not responsible for any other information or drawings not shown on this drawing. The architect's design is based on the information provided by the client. The architect is not responsible for any other information or drawings not shown on this drawing.

Sales Rep: Branna Maurer
Design By: Branna Maurer

FINAL DATE:
06-13-20

Project # 20-122
Sheet Date: 07-20-20
Revised: 08-10-20

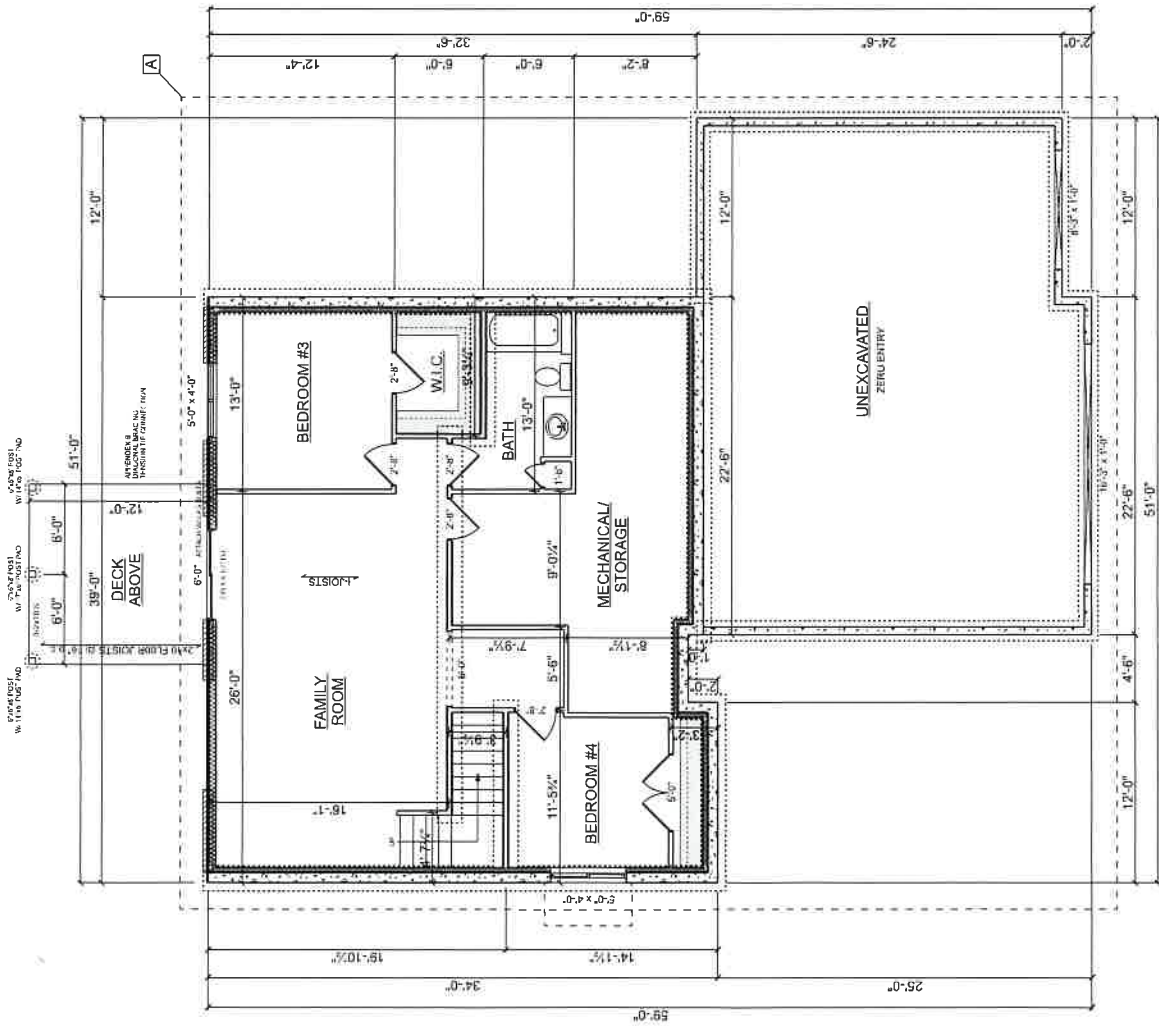
Riverbend
Spec
Eau Claire, WI



PAGE:
A1

G2
Pg 2

SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER



IMPORTANT

Design By: Brandon Maurer
Sales Rep: Brandon Maurer

FINAL DATE: 08-13-20
PROJECT # 20-122

Project # 20-122
SHEET DATE: 07-20-20
REVISION: 08-13-20

Riverbend
Spec
Eau Claire, WI



PAGE: A2

WALL BRACING PER UNIFORM METHOD
CONTINUOUS SHEATHED METHOD (CS WSP)
AND PORTAL FRAME (PF) METHOD WHERE NOTED

NOTES:
WIND EXPOSURE CATEGORY = B
PORTAL FRAME: MIN. PANEL LENGTH = 18'
RECTANGLE 'X' DATA:
WALLS SUPPORTING ROOF AND CEILING ONLY
HOUSE WIND EXPOSURE CATEGORY = B
HOUSE WALL HEIGHT = 8'-0"
CS WSP MIN. PANEL WIDTH = 32'
LONG SIDE LENGTH = 39'-0"
REQUIRED WALL BRACING = 17'-0"
SHORT SIDE LENGTH = 51'-0"
REQUIRED WALL BRACING = 17'-0"

LOCATION OF BRACED WALL PANELS ALONG
BUILDING SIDE

12' 0" MAX. DISTANCE FROM END OF SIDE
21' 0" MAX. DISTANCE BETWEEN PANELS

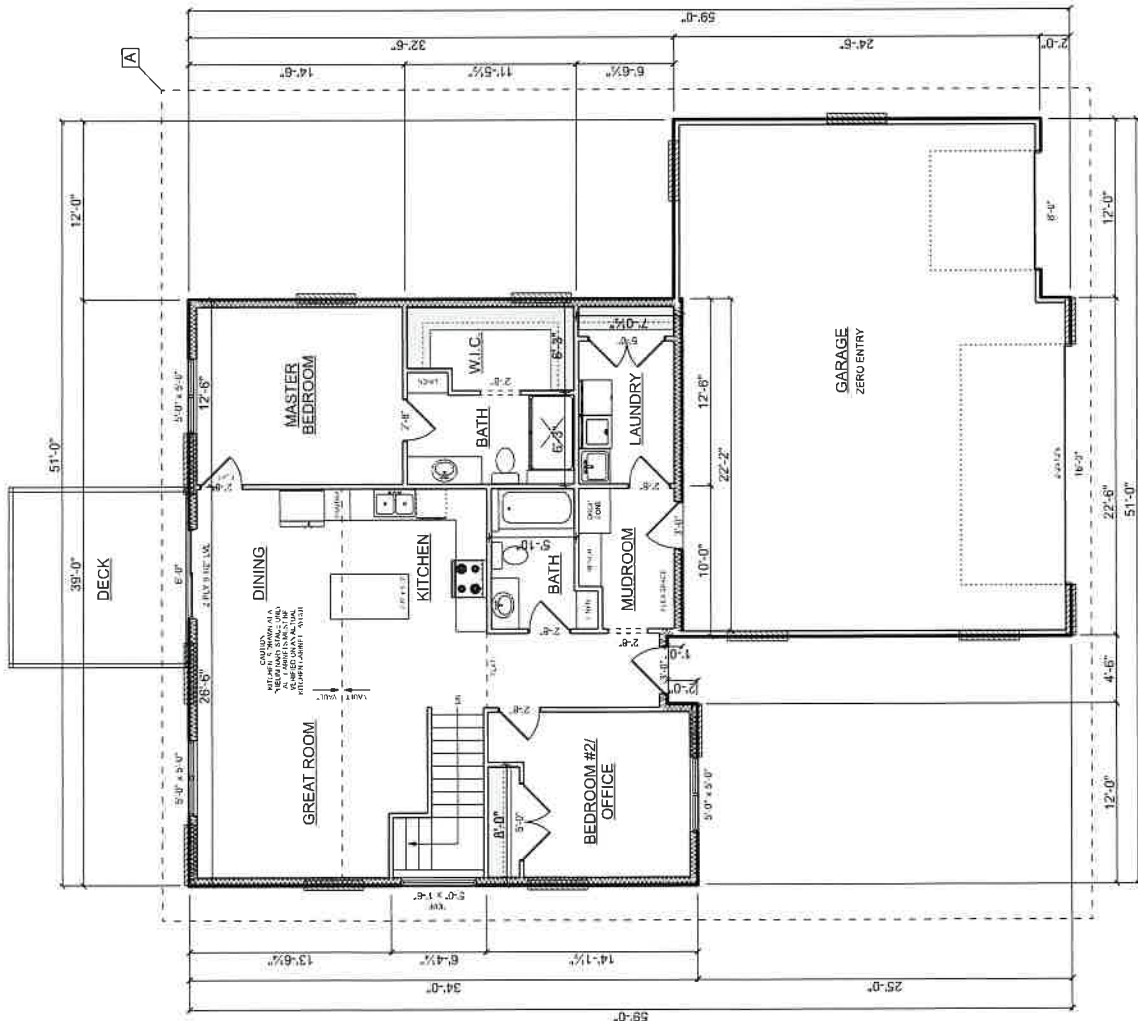
▨ = BRACED WALL PANEL

STRUCTURAL NOTES:
ALL DIMENSIONS FROM CENTER OF BRACING
TO CENTER OF MEMBER STUD
ALL HOLE DIMS FULLY DIMENSIONED
BUILDER MUST VERIFY ALL BRACING
WITH THE WINDOW/DOOR SALES REPRESENTATIVE
BUILDER IS RESPONSIBLE FOR VERIFYING ALL
BRACING AND FASTENING REQUIREMENTS WITH
THE LOCAL BUILDING INSPECTOR

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
FINISH S.F. = 990

G2
Pg 3

SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER



IMPORTANT

ASPHALT 5-INCHES
PEL UNDERLAYMENT
W/ CLIPS AS NEEDED
ENGINEERED ENERGY HEEL
ROOF TRUSSES @ 24" O/C

AIR C-WIPES @ 24" O/C
ICE WATER SHIELD
FERNETIC OF ROOF

CRACK FASCIAD
MIN. R-4 INSULATION
5/8" DRYWALL

2x4 STUDS @ 16" O/C
W/ 1/2" DRYWALL
4" FL. POLY.
1/2" DRYWALL

3x4 SHEATHING
1x2 JOISTS

2x6 TREATED SILL PLATE
W/ 6" SILL SEALER &
ANCHOR BOLTS @ 12" O/C

2x4 STUDS @ 16" O/C
R-13 BATT INSULATION

2x4 TREATED BOTTOM PLATE
6" FL. POLY. UNDER
1/2" DRYWALL

6" CRUSHED 5" ONE
4" PERF. DRAIN TILE

1x4 BAR @ 6" O/C O/C
OR AS REG'D PER CODE

10" x 8" FOUNDED CONC. FTG.
W/ 2 #4 REBARS

R-19 INSULATION

3/4" MIN. WOOD/EARTH
SEPARATION

8" FT. WATERPROOFING ON
6" FIB. CONC. FOUNDATION

1x4 BAR @ 6" O/C O/C
OR AS REG'D PER CODE

10" x 8" FOUNDED CONC. FTG.
W/ 2 #4 REBARS

ROOF VERT AS REQ'D
PER CODE

Sales Rep: Brandon Mauer
Design By: Brandon Mauer

Project # 20-122
Final Date: 08-10-20

Project # 20-122
Final Date: 08-10-20

Eau Claire, WI
Spec
Riverend



PAGE: A3

1 - STORY WALL SECTION

WALL BRACING METHODS USED:
CONTINUOUS SHEATHED METHOD (CS-WSP)
AND PORTAL FRAME (PF) METHOD WHERE NOTED

NOTES:
WIND EXPOSURE CATEGORY: B
MIN. WIND SPEED: 110 MPH
PORTAL FRAME MIN. PANEL LENGTH = 18'

RECTANGLE 'X' DATA:
WALLS SUPPORTING ROOF AND CEILING ONLY
HAVE TO RIDGE HEIGHT = 10'-0"
CS-WSP WALL HEIGHT = 10'-0"
LONG SIDE LENGTH = 59'-0"
REQUIRED WALL BRACING = 9'-0"
SHORT SIDE LENGTH = 51'-0"
REQUIRED WALL BRACING = 9'-0"

LOCATION OF BRACED WALL PANELS IN LAYOUT:
ABUILDING SIDE
2'-6" MAX. DISTANCE FROM END OF SIDE
2'-6" MAX. SPACING BETWEEN PANELS

▨ = BRACED WALL PANEL

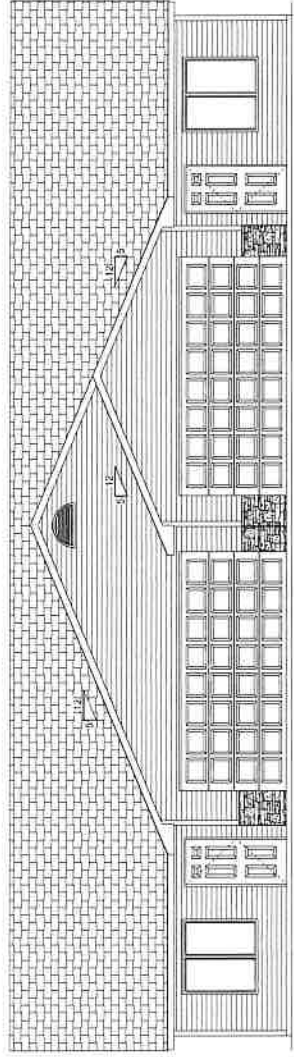
STRUCTURAL NOTES:
ALL UNLESS OTHERWISE SHOWN
TO LEHNERF INTERIOR SHILL.
ALL HEADERS / PLY STUDS UNLESS NOTED
BUILDER MUST VERIFY ALL ROUGH OPENINGS
WITH THE WINDOW / DOOR SALS REPRESENTATIVE
BUILDER IS RESPONSIBLE FOR VERIFYING ALL
DIMENSIONS AND CONDITIONS WITH
THE LOCAL BUILDING INSPECTOR

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
FINISH S.F. = 1,306'

G3 Pg1
GRIP Twin Home

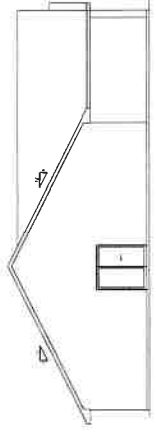
SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER

NOTE:
UNLESS OTHERWISE NOTED
4/12, 5/12, & 6/12 = 24" OH AT EAVES
7/12 & 8/12 PITCH = 18" OH AT EAVES
9/12, 10/12, 11/12, 12/12 = 16" OH AT EAVES
12" OH TYPICAL AT GABLES
TRUSS MANUF. TO ADJUST HEEL HEIGHTS
ACCORDINGLY TO ALIGN FASCIAS



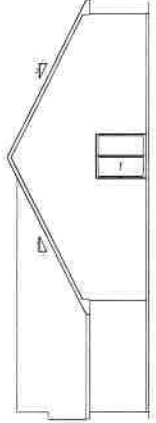
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



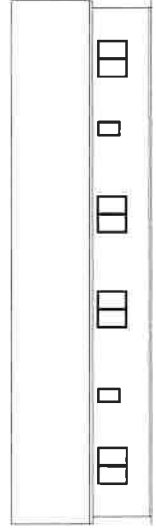
LEFT ELEVATION

SCALE 1/8" = 1'-0"



RIGHT ELEVATION

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/8" = 1'-0"

IMPORTANT
The information on this drawing is the property of FirstSource Builders, Inc. and is to be used only for the project and location specified. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of FirstSource Builders, Inc. All rights reserved. © 2013 FirstSource Builders, Inc. All other rights reserved.

Builder:
Phone #
Sales Rep: Neil Sawinski
Design By: Brendan Dobbs

Project # 18-094
Start Date: 6/20/18
Finish Date: 11/15/2018

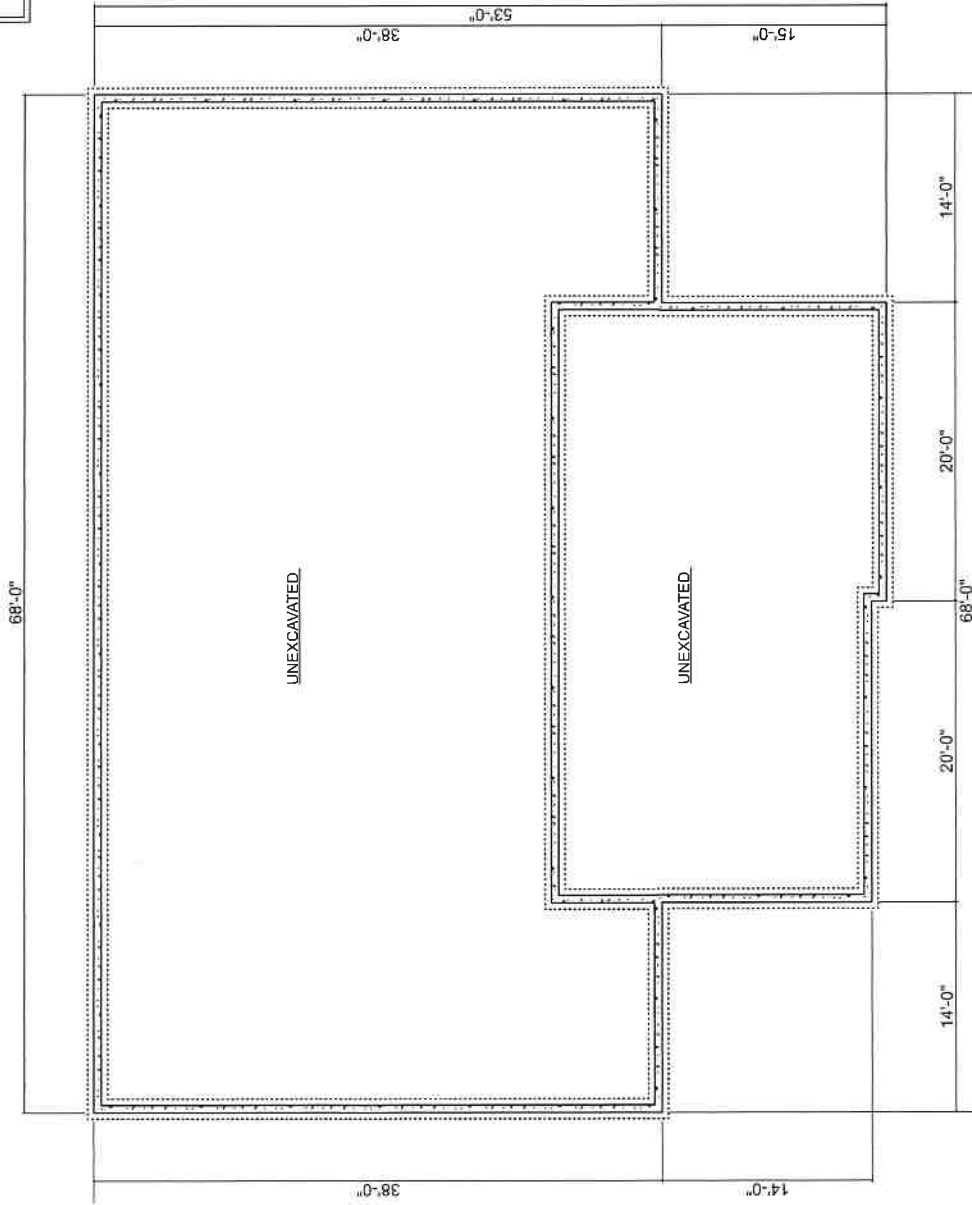
Hoss Brothers
North Hastings Way
Eau Claire, WI



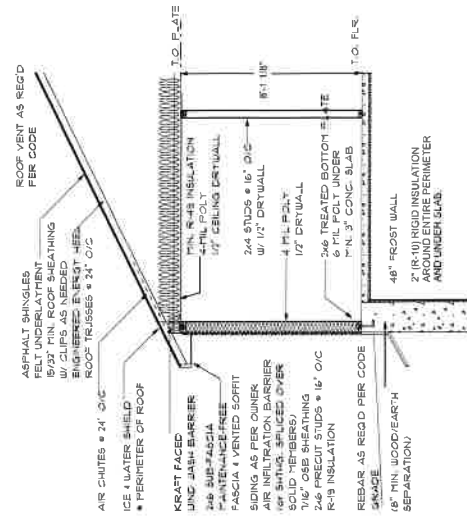
PAGE: **A1**

G3 Pg 2

SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER



STRUCTURAL NOTES:
 TO COMPENSATE FOR TOLERANCES OUTSIDE OF SIGHTING
 ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 ALL MEMBERS SHALL BE 2X UNLESS NOTED OTHERWISE.
 ALL UNUSUAL CONNECTIONS SHALL BE APPROVED BY THE LOCAL BUILDING INSPECTOR.
 ALL USUAL CONNECTIONS SHALL BE APPROVED BY THE LOCAL BUILDING INSPECTOR.
 ALL USUAL CONNECTIONS SHALL BE APPROVED BY THE LOCAL BUILDING INSPECTOR.
 ALL BRACING AND FASTENING REQUIREMENTS WITH THE LOCAL BUILDING INSPECTOR.



1 - STORY WALL SECTION

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 FINISH S.F. = 1143sf Each Side



Hoss Brothers
 North Hastings Way
 Eau Claire, WI

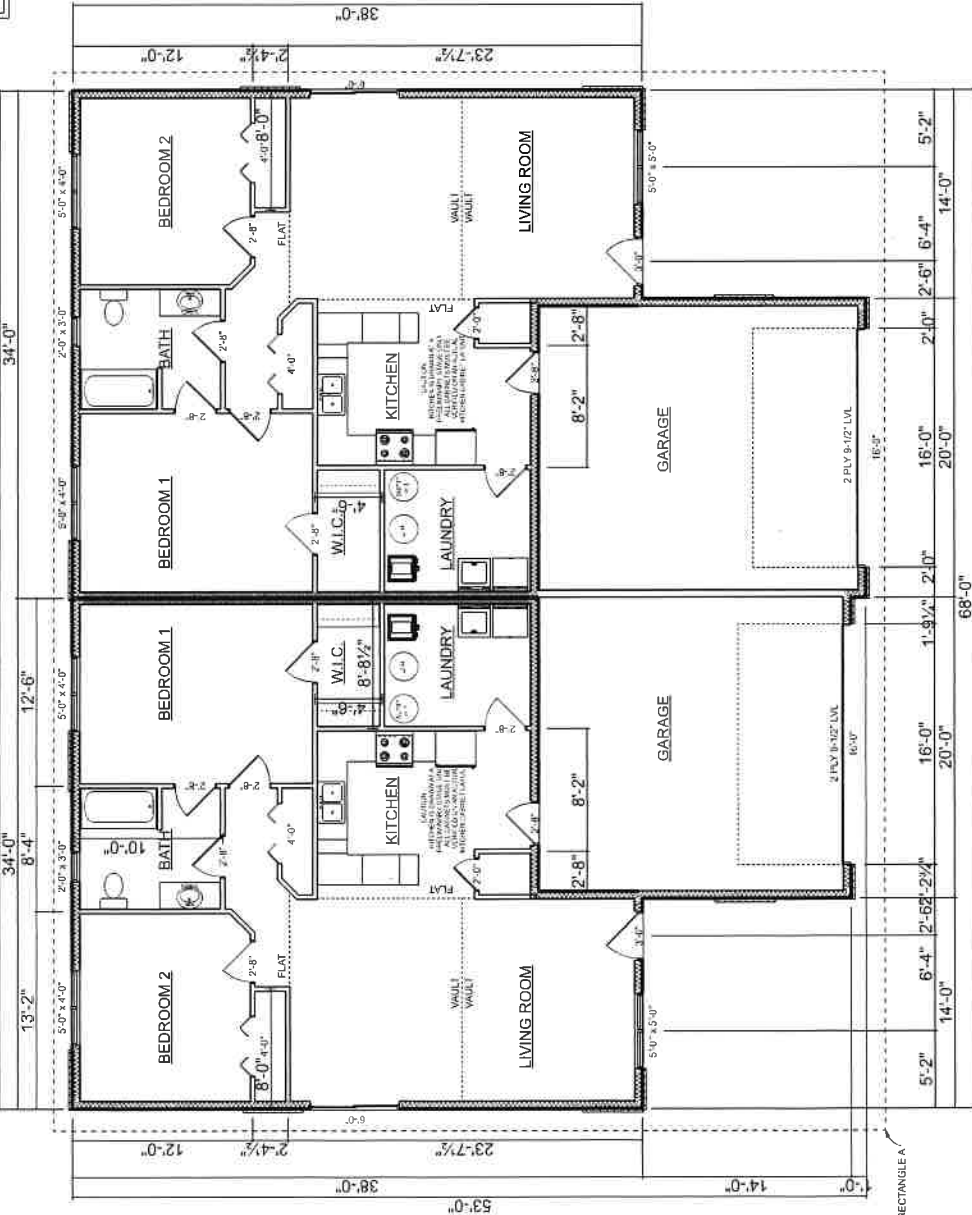
Project # 19-094
 Sales Rep: Neil Gawinski
 Design By: Brendan Dobbs

IMPORTANT

SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER

STRUCTURAL NOTES:
 ALL DIMENSIONS FROM OUTSIDE OF BRACING TO CENTER OF WINDOW SILL.
 ALL HEADERS/PLY SHEET JOISTS NOTED.
 BUILDER MUST VERIFY ALL NOTCH OPENINGS WITH THE WINDOW/DOOR SIZES REPRESENTED.
 DIMENSIONS ARE RESPONSIBLE FOR VERIFYING ALL WINDOW/DOOR SIZES WITH THE LOCAL BUILDING INSPECTOR.

WALL BRACING DETAIL:
 ALL WALL BRACING SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL BUILDING INSPECTOR'S REQUIREMENTS.
 WIND EXPOSURE CATEGORY = B
 EAVE TO RIDGE HEIGHT = 9'-6" RECT. A 9'-0"
 PORTAL FRAME MIN. PANEL LENGTH = 18'-0"
 REINFORCED CONCRETE DATA
 WALLS SUPPORTING ROOF AND CHILING ONLY
 HOUSE WALL HEIGHT = 10'-0"
 CS-WASH-MIN. PANEL WIDTH = 32"
 LONG SIDE LENGTH = 86'-0"
 ACQUIRED WALL BRACING = 11'-6"
 SHORT SIDE LENGTH = 53'-0"
 REQUIRED WALL BRACING = 13'-0"
 REQUIRED WALL BRACING = 13'-0"
 LOCATION OF BRACED WALL PANELS IS AS SHOWN.
 12'-6" MAX. DISTANCE FROM END OF SIDE
 21'-0" MAX. DISTANCE BETWEEN PANELS
 [Symbol] = BRACED WALL PANEL



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FINISH S.F. = 1143sf Each Side

Hoss Brothers
 North Hastings Way
 Eau Claire, WI

Project # 18-094
 Start Date: 02-20-18
 Progress: 85.7%

Builder:
 Phone #:
 Sales Rep: Neil Gawinski
 Design By: Brenden Dobbs

IMPORTANT
 This drawing is the property of the architect and shall not be used for any other project without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing. The contractor shall verify all dimensions and conditions before construction.

Lynn Niggemann

From: Dave Rosenbrook <rosenbrookconstruction@gmail.com>
Sent: Monday, June 12, 2023 2:39 PM
To: Lynn Niggemann
Subject: RE: East View Development Village of Colfax
Attachments: Application to purchase 2019-08-27[23718].docx; Example 1.pdf; Example 2.pdf; Example 3.pdf; Example 4.pdf; Example 5.pdf; Financing Approval.pdf; IMG_2227.jpg; IMG_2229.jpg; IMG_2234.jpg; IMG_2239.jpg

Hi Lynn,

Here are my answers to your questions below. Thank you!

1. Multi Family lots / Future residential lots and more R2
2. Fall 2023-Spring 2024
- 3.
4. Offering to build a top quality built Twin Home with great curb appeal, hopefully in the future to build more.
5. Attached are floor plans
6. Rosenbrook Construction
7. Financing is through Security Bank
8.
 1. Deposit payment: yes
 2. Value: \$250,000-\$300,000
 3. Smart Board Siding
 4. Concrete Driveway
 5. Contractor will do permitting
 6. Lawn/Trees will be done by contractor
 7. Yes, attached is letter of preapproval of mortgage financing
 8. Agree to no greater than 12 months of signing for certificate of occupancy

Thank you for taking the time to show me the property today.

Dave Rosenbrook

Sent from [Mail](#) for Windows

From: [Lynn Niggemann](#)
Sent: Friday, June 9, 2023 12:09 PM
To: rosenbrookconstruction@gmail.com
Subject: East View Development Village of Colfax

The Village of Colfax Board of Trustees will be meeting on Monday, June 12th, 2023 at 7 pm.

One of the agenda topics will be the East View Development and four lots that are available as of right now. There are two single-family lot and two multi-family lots. We have had a great response to the Channel 18 news clip.

Monday night's meeting will be to review each request in regards to:

1. Which lot(s) are of interest to you
2. What type of **timeline** is expected for construction to begin and end

R1 pg1

Rosenbrook Ex. 1

ELEVATIONS

ROSEN BROOK CONSTRUCTION
CORP. 1000 W. 10TH ST. SUITE 100
MILWAUKEE, WI 53233
TEL: 414-224-1111
WWW.ROSENBROOKCONSTRUCTION.COM

DATE: 08/14/18
SCALE: AS SHOWN
SHEET NUMBER: A1

FRONT ELEVATIONS

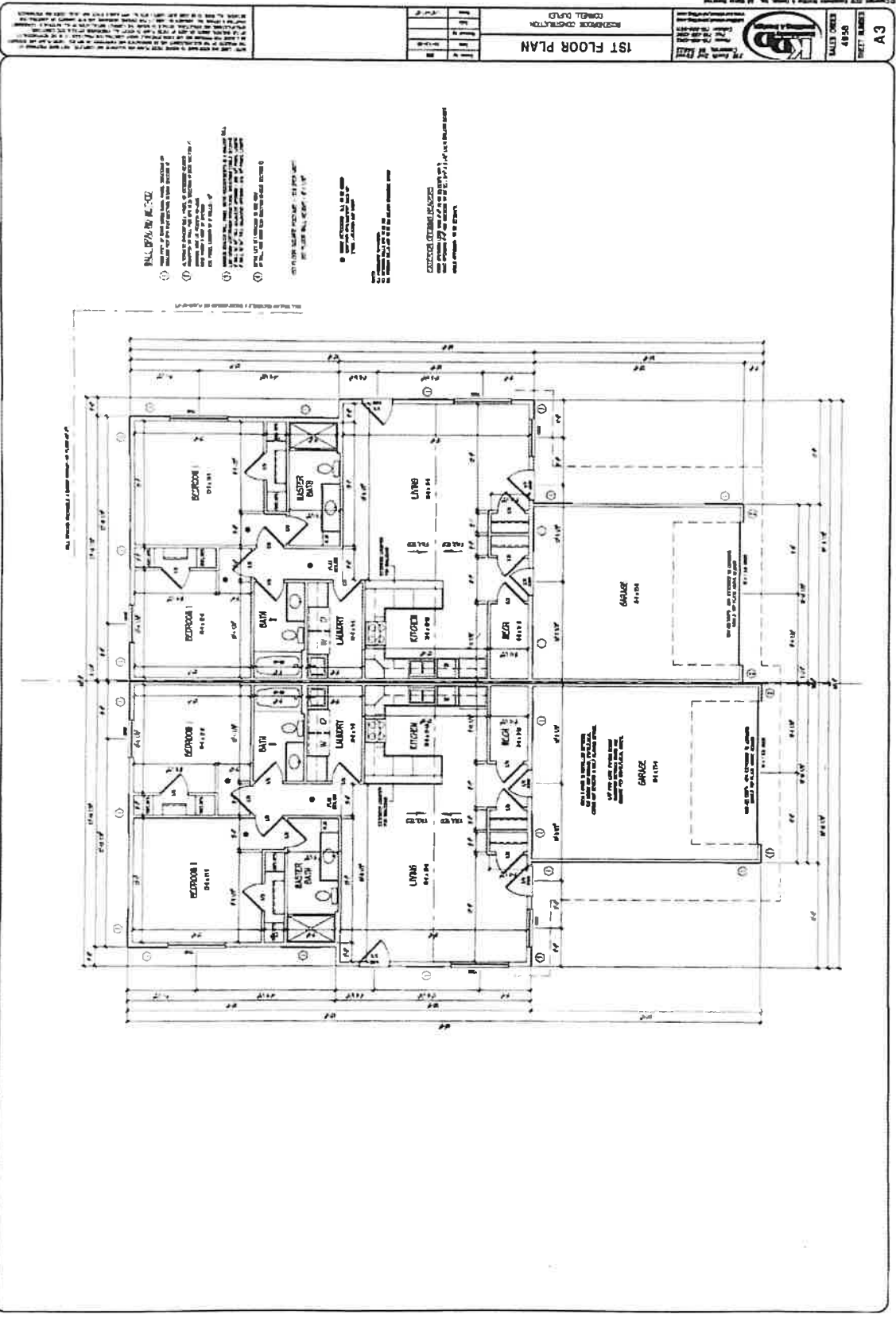
REAR ELEVATIONS

EAST ELEVATIONS

WEST ELEVATIONS

Architectural drawings showing four elevations of a house: Front, Rear, East, and West. Each drawing includes material callouts and window/door symbols.

R1 pg 2



R2 pg1

Rosenbrook Ex 2

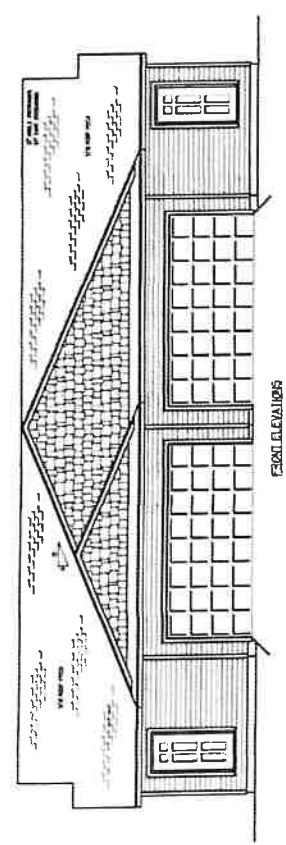
78 South St. Pitt
 02875
 401-863-2222
 www.kaplan.com

KAPLAN
 ARCHITECTURAL
 ARCHITECTS INC.
 78 SOUTH ST. PITT.
 02875

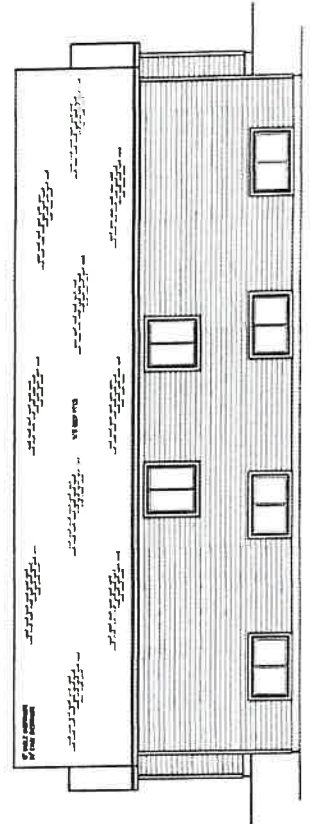
ROSEN BROOK ELEVATIONS
 DRAWING NO. 23

NO.	REVISION	DATE
1		
2		
3		
4		
5		

ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
 ALL FINISHES ARE TO BE AS SHOWN ON THE DRAWING.
 ALL MATERIALS TO BE APPROVED BY THE ARCHITECT.
 ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
 THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THIS DRAWING.
 THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THIS DRAWING.
 THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE OBTAINING OF ANY PERMITS OR LICENSES.
 THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THIS DRAWING.
 THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE OBTAINING OF ANY PERMITS OR LICENSES.



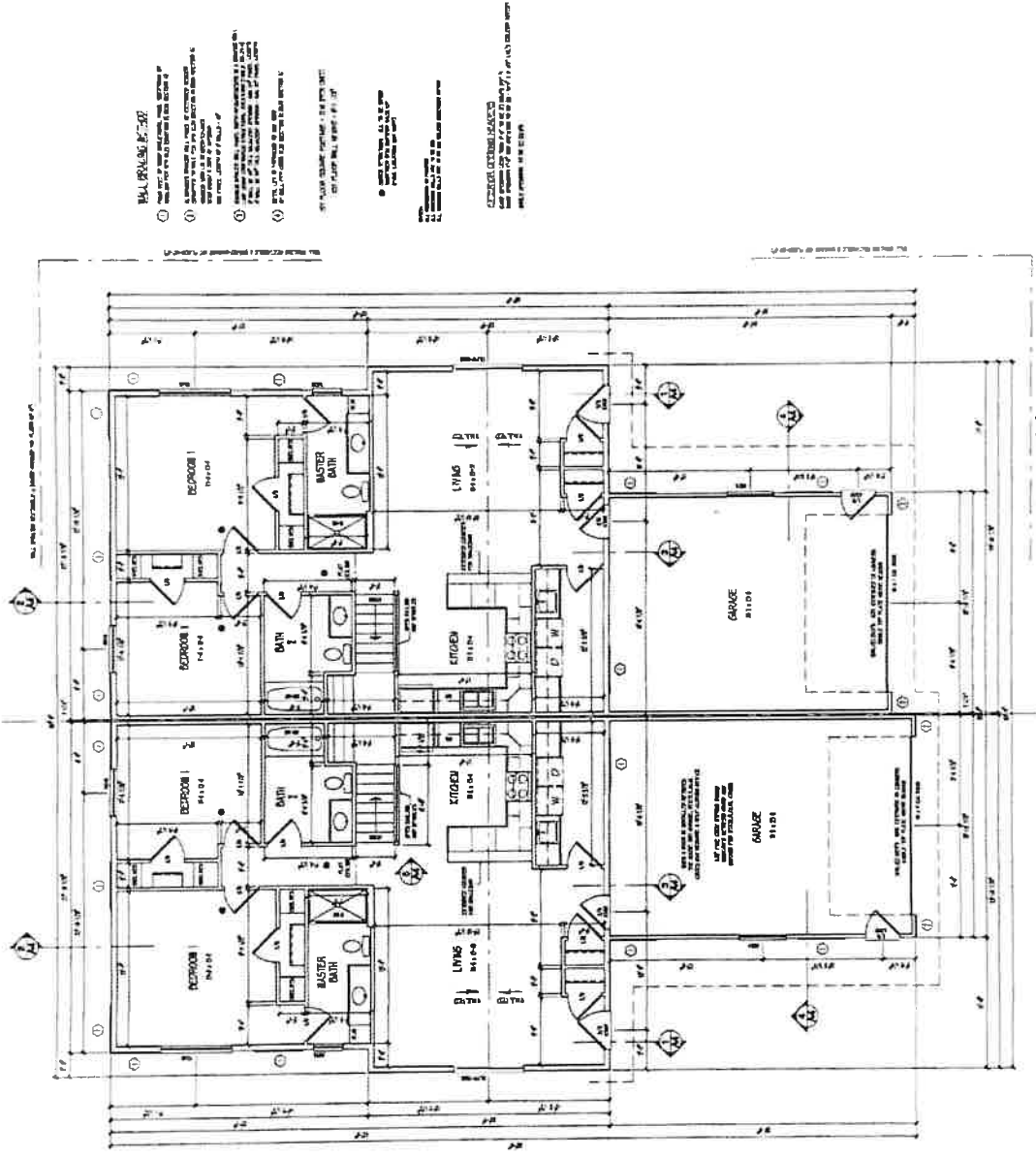
FRONT ELEVATIONS



REAR ELEVATIONS

R2 P92

<p>OWNER: [Illegible]</p> <p>DESIGNER: [Illegible]</p> <p>DATE: [Illegible]</p>		<p>PROJECT: [Illegible]</p> <p>NO. [Illegible]</p> <p>DATE: [Illegible]</p>	<p>SCALE: [Illegible]</p> <p>DATE: [Illegible]</p>
<p>1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.</p> <p>2. FINISHES ARE AS SHOWN ON THE FINISH SCHEDULE.</p> <p>3. ALL WALLS ARE 1/2" THICK UNLESS OTHERWISE NOTED.</p> <p>4. ALL FLOORS ARE 4" THICK UNLESS OTHERWISE NOTED.</p> <p>5. ALL CEILING ARE 8' UNLESS OTHERWISE NOTED.</p> <p>6. ALL DOORS ARE 3' 0" WIDE UNLESS OTHERWISE NOTED.</p> <p>7. ALL WINDOWS ARE 3' 0" WIDE UNLESS OTHERWISE NOTED.</p> <p>8. ALL STAIRS ARE 3' 0" WIDE UNLESS OTHERWISE NOTED.</p> <p>9. ALL ELEVATIONS ARE AS SHOWN ON THE ELEVATION SHEETS.</p> <p>10. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS.</p>		<p>11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.</p> <p>12. ALL WALLS ARE TO BE FINISHED WITH [Illegible].</p> <p>13. ALL FLOORS ARE TO BE FINISHED WITH [Illegible].</p> <p>14. ALL CEILING ARE TO BE FINISHED WITH [Illegible].</p> <p>15. ALL DOORS ARE TO BE FINISHED WITH [Illegible].</p> <p>16. ALL WINDOWS ARE TO BE FINISHED WITH [Illegible].</p> <p>17. ALL STAIRS ARE TO BE FINISHED WITH [Illegible].</p> <p>18. ALL ELEVATIONS ARE TO BE FINISHED WITH [Illegible].</p> <p>19. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS.</p>	<p>20. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.</p> <p>21. ALL WALLS ARE TO BE FINISHED WITH [Illegible].</p> <p>22. ALL FLOORS ARE TO BE FINISHED WITH [Illegible].</p> <p>23. ALL CEILING ARE TO BE FINISHED WITH [Illegible].</p> <p>24. ALL DOORS ARE TO BE FINISHED WITH [Illegible].</p> <p>25. ALL WINDOWS ARE TO BE FINISHED WITH [Illegible].</p> <p>26. ALL STAIRS ARE TO BE FINISHED WITH [Illegible].</p> <p>27. ALL ELEVATIONS ARE TO BE FINISHED WITH [Illegible].</p> <p>28. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS.</p>



1st Floor Plan
 PROJECT: [Illegible]
 NO. [Illegible]
 DATE: [Illegible]

SHEET NUMBER
 4956
 A3

R 2 pg 3

